



## ACTIVITY DETERMINATION

Project No. BGZEG

### Conflict of Interest<sup>1</sup>

In this matter:

1. I have declared any possible conflict of interests (real, potential or perceived) to the Acting Chief Executive, Land & Housing Corporation.
2. I do not consider I have any personal interests that would affect my professional judgement.
3. I will inform the Acting Chief Executive, Land & Housing Corporation as soon as I become aware of a possible conflict of interest.

Signed.....

Name..... Emma Nicholson

Dated...25 November 2023.....

Having regard to the Determination Recommendation Report, the Statement of Compliance and the Review of Environmental Factors for this project addressing matters under Part 5 of the *Environmental Planning and Assessment Act 1979*, I determine that the activity proceed as described below and subject to the identified requirements set out in **Schedule 1**.

### SITE IDENTIFICATION

#### STREET ADDRESS

Unit/Street No

75-77

Street or property name

Sheppard Street

Suburb, town or locality

Casino

Postcode

2470

Local Government Area(s)

Richmond Valley

Real property description (Lot and DP)

Lots 761 & 762 in DP 1155484

### ACTIVITY DESCRIPTION

Provide a description of the activity

The construction of 6 multi dwelling houses comprising 4 x 2 bedroom and 2 x 3 bedroom units, with associated landscaping and fencing, surface parking for 7 cars, and consolidation into a single lot

<sup>1</sup> Conflict of interest includes actual and potential. A conflict of interest includes pecuniary i.e. financial interests to you or a related party or non-pecuniary i.e. benefits to relatives, friends, business associates and personal causes, etc. This includes "related persons" as defined in the Property, Stock and Business Agency Act 2002.

Signed.....

Dated...25 November 2023.....

Emma Nicholson  
A/Head of Policy and Innovation  
Land and Housing Corporation  
Department of Planning & Environment

## SCHEDULE 1

### IDENTIFIED REQUIREMENTS

#### PART A – Standard Identified Requirements

#### THE DEVELOPMENT

*The following Identified Requirements are to ensure that the residential activity is carried out in accordance with the plans / documents and any amendments arising from the Review of Environmental Factors under Part 5 of the Environmental Planning & Assessment Act 1979, Section 171 of the Environmental Planning and Assessment Regulation 2021 and the requirements of State Environmental Planning Policy (Housing) 2021.*

1. The development shall be carried out substantially in accordance with the following plans / documents as modified below and by any of the undermentioned identified requirements:

Title / Name:	Drawing No. / Document Ref	Revision / Issue	Date [dd/mm/yyyy]	Prepared by:
<b>Architectural Plans– Appendix A</b>				
Coversheet	A01	Rev A	03/05/2023	Barry Rush and Associates Pty Ltd
Site Analysis Plan	A02	Rev A	03/05/2023	Barry Rush and Associates Pty Ltd
Site Plan	A03	Rev A	03/05/2023	Barry Rush and Associates Pty Ltd
General Arrangement Plan – Ground Level	A04	Rev A	03/05/2023	Barry Rush and Associates Pty Ltd
General Arrangement Plan – First Level	A05	Rev A	03/05/2023	Barry Rush and Associates Pty Ltd
General Arrangement Plan - Roof	A06	Rev A	03/05/2023	Barry Rush and Associates Pty Ltd
Building Elevations	A07	Rev A	03/05/2023	Barry Rush and Associates Pty Ltd
Building Sections	A08	Rev A	03/05/2023	Barry Rush and Associates Pty Ltd

Title / Name:	Drawing No. / Document Ref	Revision / Issue	Date [dd/mm/yyyy]	Prepared by:
External Colour Schedule	A09	Rev A	03/05/2023	Barry Rush and Associates Pty Ltd
Block Analysis Plan	A10	Rev A	03/05/2023	Barry Rush and Associates Pty Ltd
Shadow Diagrams Mid-Winter	A11	Rev A	03/05/2023	Barry Rush and Associates Pty Ltd
Views from Sun Diagrams	A12	Rev A	03/05/2023	Barry Rush and Associates Pty Ltd
Street Perspective	A13	Rev A	03/05/2023	Barry Rush and Associates Pty Ltd
Areas of Excavation and Fill	A14	Rev A	03/05/2023	Barry Rush and Associates Pty Ltd
<b>Landscape Plans – Appendix B</b>				
Landscape Plan	LA 1 of 2	C	08/05/2023	Greenland Design
Landscape Details and Specification	LA 2 of 2	C	08/05/2023	Greenland Design
<b>Stormwater Plans – Appendix C</b>				
Cover Sheet and Drawing Schedule	SYD23062-SW000	P2	04/05/2023	Erbas Building Services Engineers
Erosion and Sedimentation Control Plan	SYD23062-SW001	P2	04/05/2023	Erbas Building Services Engineers
Stormwater Service – Ground Floor Plan	SYD23062-SW101	P3	30/08/2023	Erbas Building Services Engineers
Stormwater Service – First Floor Plan	SYD23062-SW102	P2	04/05/2023	Erbas Building Services Engineers
Stormwater Services - Roof Plan	SYD23062-SW103	P2	04/05/2023	Erbas Building Services Engineers
Stormwater Services Detail – Sheet 01	SYD23062-SW201	P2	04/05/2023	Erbas Building Services Engineers
Stormwater Services Detail – Sheet 02	SYD23062-SW202	P2	04/05/2023	Erbas Building Services Engineers
<b>Survey Plan – Appendix D</b>				
Detail Survey	Sheet 1 of 1	-	01/05/2022	RPS Australia East Pty Ltd
<b>Notification Plans – Appendix E</b>				
<b>BASIX Certification – Appendix K</b>				
BASIX Certificate	Basix Certification no. 1378175M_02	-	19/06/2023	Building Sustainability Assessments
<b>NatHERS Certificate – Appendix M</b>				
NatHERS Certificate	Certificate No 0008644670		19/06/2023	Building Sustainability Assessments

Title / Name:	Drawing No. / Document Ref	Revision / Issue	Date [dd/mm/yyyy]	Prepared by:
<b>Specialist Reports</b>				
Arboricultural Impact Assessment – Appendix J	F419	B	27/04/2023	Creative Planning Solutions
BCA Compliance Assessment Report- Appendix H	P230063 (2)	-	5/05/2023	BCA vision
Geotechnical Investigation - Appendix O	31895/6740D-G	-	August 2022	STS Geotechnics Pty Ltd
Traffic Impact Assessment- Appendix R	-	-	April 2023	Fernway Engineering
Waste Minimisation and Management Plan – Appendix Q	-	-	18/04/2023	Barry Rush & Associates Pty Ltd

2. All building work is to be undertaken in accordance with the National Construction Code and referenced Australian Standards.
3. All commitments listed in the BASIX certificate and stamped plans shall be implemented.
4. All construction documentation and building work is to be certified in accordance with Section 6.28 of the Environmental Planning and Assessment Act 1979.
5. The land the subject of this determination shall be consolidated into a single lot. The plan of consolidation shall be lodged at the NSW Land Registry Services and shall be registered prior to the occupation of the development. A copy of the registered plan shall be provided to the Land & Housing Corporation.

At the time of lot consolidation, the easement for sewer that is 5m wide located at the northern Sheppard Street front boundary must be amended by; the removal of the upstream pipeline infrastructure that is east of the existing sewer manhole on 75 Sheppard Street and redefining the area of the easement for sewer based on the operational sewer infrastructure on the consolidated lot. Council will be required to sign the Section 88B instrument as a beneficiary of the easement and infrastructure.

## OPERATIONAL MATTERS

*The following Identified Requirements relate to the use of the site and are to ensure that the activity and its operation do not interfere with the amenity of the surrounding area.*

### Stormwater Run-off

6. Stormwater shall be collected within the site and conveyed in a pipeline to the appropriate gutter or drain under the control of Richmond Valley Council substantially in accordance with the approved concept stormwater drainage plans.



7. Alterations to the natural surface contours or surface absorption characteristics of the site shall not impede, increase, or divert natural surface water runoff so as to cause a nuisance to adjoining property owners.
8. All driveways shall be graded in such a manner as to provide continuous surface drainage flow paths to the appropriate points of discharge.
9. To prevent water from entering buildings, surface waters shall be collected and diverted clear of the buildings by a sub-surface / surface drainage system.

### **Vehicular Access & Parking**

10. A concrete vehicular crossing and layback shall be provided at the entrance / exit to the property. The crossing and layback shall be constructed in accordance with Richmond Valley Council's standard requirements for residential crossings. Council shall be provided with plans for the crossing and layback together with the payment of any council inspection fees.
11. Particular care shall be taken in the location of the vehicular crossing and layback to avoid poles, pits etc. The cost of any necessary adjustments to utility mains and services associated with the construction of the layback / driveway shall be borne by the Land & Housing Corporation. Obsolete gutter layback(s) shall be constructed as kerb in accordance with Richmond Valley Council's standards.

***Note:***

*It is recommended that discussion be held with the relevant authorities before construction works commence.*

12. Car parking spaces and driveways shall be constructed of concrete or other approved hard surfaced materials. The spaces must be clear of obstructions and columns, permanently line marked and provided with adequate manoeuvring facilities. The design of these spaces must comply with AS 2890.1.

### **Site Works**

13. All soil erosion and sediment control measures required to be put in place prior to the commencement of site preparation / construction works shall be maintained during the entire period of the works until all the disturbed areas are restored by turfing, paving or revegetation. Soil erosion and sediment control measures shall be designed in accordance with the guidelines set out in the Blue Book *Managing Urban Stormwater: Soils and Construction* (4th edition, Landcom, 2004).
14. An appropriately qualified person shall design retaining walls or other methods necessary to prevent the movement of excavated or filled ground, including associated stormwater drainage measures.

### **Building Siting**

15. All buildings shall be sited well clear of any easements affecting the site. The builder shall ascertain if any easements do exist and, if they do, obtain full details of such prior to construction commencing.

### **Smoke Detection System(s)**

16. Smoke detection systems shall be installed throughout the building(s) in accordance with requirements of Clause E2.2a of the Building Code of Australia. Detectors and alarms shall comply with AS 3786 and AS 1670 and must:
- i. be connected to a permanent 240V power supply; and
  - ii. be provided with a battery backup to activate the alarm unit in the event of failure of the permanent power supply.

### **Site Soil Contamination**

17. If the site is identified as being potentially affected by soil contamination, it shall be inspected by a suitably qualified person to identify any contaminated or hazardous material present. A proposal for remediation shall be prepared, which may include preparation of a Remedial Action Plan, and remediation shall be carried out in accordance with the proposal. A Validation Report, prepared in accordance with Environment Protection Authority requirements, shall be obtained from a qualified expert on completion of the remediation work to verify that the site is suitable for the intended residential use. A copy of the Validation Report shall be provided to the Land & Housing Corporation on completion of the remediation works.

### **Landscaping**

18. Landscaping shall be carried out substantially in accordance with the approved landscape plan(s) and maintained for a period of 12 months by the building contractor. Richmond Valley Council shall be consulted in relation to the planting of any street trees.  
The 4 trees located within the front setback of the site must be planted a minimum of 1m from the 1.5m wide drainage easement.
19. All scheduled plant stock shall be pre-ordered, prior to commencement of construction or 3 months prior to the commencement of landscape construction works, whichever occurs sooner, for the supply to the site on time for installation. The builder shall provide written confirmation of the order to the Land & Housing Corporation.

### **Fencing**

20. All front fencing and gates shall be constructed wholly within the boundaries of the site. Any gates associated with the fencing shall swing inwards towards the site.

### **Provision of Letterbox Facilities**

21. Suitable letterbox facilities are to be provided in accordance with Australia Post specifications.

### **Public Liability Insurance**

22. A valid public liability insurance policy of at least \$10M shall be maintained throughout the site preparation / construction works by the contractor.

## PRIOR TO ANY WORK COMMENCING ON THE SITE

*The following Identified Requirements are to be complied with prior to any work commencing on the site, including site preparation.*

### Disconnection of Services

23. All services that are required to be disconnected shall be appropriately disconnected and made safe prior to commencement of the site preparation / construction works. The various service authorities shall be consulted regarding their requirements for the disconnection of services.
24. All existing services within the boundary to remain live shall be identified, pegged and made safe.

### Prior to Commencement

25. The builder shall notify the occupants of premises on either side, opposite and at the rear of the site a minimum of 5 working days prior to commencement of work. Such notification shall be clearly written on an A4 size paper giving the date work will commence and be placed in the letterbox of every premise (including every unit in a multi-unit residential building or mixed-use building). The works shall not commence prior to the date that is stated in the notice letter.
26. Prior to the commencement of work, a Work Plan shall be prepared by a competent person(s) in accordance with AS 2601 and shall be submitted to the Land & Housing Corporation. The Work Plan shall outline the identification of any hazardous materials (including surfaces coated with lead paint), method of works, the precautions to be employed to minimise any dust nuisance and the disposal methods for all materials.

### Utilities Service Provider Notification

27. The construction plans shall be submitted to the appropriate water utility's office (e.g., local council) to determine whether or not the development will affect the utility's sewer and water mains, stormwater drains and any easements.

***Note:***

*If the development complies with water utility's requirements, the plans will be stamped indicating that no further requirements are necessary.*

### Council Notification

28. Richmond Valley Council shall be advised in writing, of the date it is intended to commence work, including site preparation. A minimum period of **5** working days notification shall be given.

### Site Safety

29. A sign shall be erected in a prominent position on any site on which site preparation or building work is being carried out:
  - (a) showing the name, address and telephone number of the responsible Land & Housing Corporation officer for the work, and
  - (b) showing the name of the principal contractor (if any) and a telephone number on which that person may be contacted outside working hours, and

- (c) stating that unauthorised entry to the work site is prohibited.

The sign shall be maintained while the work is being carried out but shall be removed when the work has been completed.

**Note:**

*This requirement does not apply in relation to building work that is carried out inside an existing building that does not affect the external walls of the building.*

30. A minimum 1.8m high security fence or Class A / Class B (overhead) hoarding must be erected between the work site and any public place prior to site preparation / construction. Access to the site shall be restricted to authorised persons only and the site shall be secured against unauthorised entry when site preparation / construction work is not in progress, or the site is otherwise unoccupied.

**Note:**

*Approval from the relevant road's authority will be required under Section 138 of the Roads Act 1993 where a Class A or B hoarding encroaches onto the footpath of / or a public thoroughfare within a classified road.*

31. No building or other materials are to be stored on the footpath or roadway.

### Site Facilities

32. The following facilities shall be installed on the site:
- (a) Toilet facilities shall be provided at the rate of 1 toilet for every 20 persons or part thereof employed at the site. Each toilet provided shall be a standard flushing toilet and shall be connected to a public sewer or if connection to a public sewer is not practicable, to an accredited sewerage management facility provided by Richmond Valley Council or if this is not practicable to some other council approved management facility.
  - (b) Adequate refuse disposal methods and builders' storage facilities. Builders' wastes, materials or sheds shall not to be placed on any property other than that which this approval relates to.
33. Access to the site shall only be provided via an all-weather driveway on the property and is not to be provided from any other site.

### Protection of Trees

34. Trees and other vegetation that are to be retained on site shall be protected prior to the commencement of works and for the duration of the construction period in accordance with the details provided in the Arboricultural Impact Assessment report.

### Waste Management

35. A final Waste Management Plan shall be prepared and submitted to the Land & Housing Corporation by the building contractor prior to the commencement of site preparation / construction. The plan shall detail the amount of waste material and the destination of all materials, recyclable and non-recyclable.

## PRIOR TO ANY CONSTRUCTION WORK COMMENCING ON SITE

*The following Identified Requirements are to be complied with prior to any construction works occurring on the site.*

### Service Authority Clearances

36. A compliance certificate, or other evidence, shall be obtained from the relevant water utility provider (e.g., the local Council), confirming service availability prior to work commencing.

**Note:**

*Payment of water and/or sewer service charges and/or a notice of requirements for works to be carried out during construction / prior to occupation may be applicable prior to issue of the compliance certificate.*

37. A written clearance from an electricity supply authority stating that electrical services are available to the site, or that arrangements have been entered into for the provision of services to the site, shall be obtained prior to work commencing.
38. A certificate from an approved telecommunications carrier certifying that satisfactory arrangements have been made for the provision of underground telephone services, to the site and to each dwelling, shall be obtained prior to work commencing.
39. Where the site is to be connected to reticulated gas, a certificate from an approved gas carrier to certify that satisfactory arrangements have been made to ensure the provision of underground gas services to each dwelling in the development shall be obtained prior to work commencing.

### Stormwater Disposal

40. A detailed stormwater drainage plan(s), substantially in accordance with the approved concept stormwater drainage plan(s), shall be prepared and submitted to the Land & Housing Corporation. Any on-site detention system shall be designed in accordance with the relevant catchment authority's requirements (e.g. the Upper Parramatta River Catchment Trust On-site Detention Handbook) and/or Richmond Valley Council's drainage code.

## DURING CONSTRUCTION WORKS

*The following Identified Requirements are to be complied with whilst site preparation and construction works are occurring on the site.*

### Landfill

41. Where site filling is necessary, a minimum of 95% standard compacting shall be achieved and certified by a NATA registered Soils Lab.
42. Land fill materials must satisfy the following requirements:
- i. be Virgin Excavated Natural Matter (VENM);
  - ii. be free of slag, hazardous, contaminated, putrescible, toxic or radio-active matter; and
  - iii. be free of industrial waste and building debris.

## Heritage

43. Historic and indigenous archaeological sites and relics are protected under the *Heritage Act 1977* and *National Parks and Wildlife Act 1974*, respectively. Should any relics be uncovered during the course of the approved works, work must cease immediately in the affected area. Subsequently, in cases where historical items have been uncovered, the Department of Planning and Environment must be contacted.
44. All workers / contractors on the site shall be informed of their obligations, under the *Heritage Act* and *National Parks and Wildlife Act 1974*, that it is illegal to disturb, damage or destroy a relic without the prior approval.

## Site Preparation

45. Hazardous or intractable wastes, including all asbestos laden waste, arising from the site preparation process shall be removed and disposed of in accordance with the requirements of SafeWork NSW and the Department of Planning and Environment.
46. Documentary evidence, in the form of tip receipts from an approved Waste Management Facility, shall be obtained by the contractor and submitted to the Land & Housing Corporation demonstrating the appropriate disposal of waste.
47. Site preparation procedures shall maximise the reuse and recycling of demolished materials in order to reduce the environmental impacts of waste disposal.
48. During site preparation, the public footpath and the public road shall not be obstructed by any vehicles. The public road and footpath shall be swept (not hosed) clean of any material, including clay, soil and sand.
49. All vehicles leaving the site with materials shall have their loads covered and vehicles shall not track soil and other material onto the public roads and footpaths. The footpath shall be suitably protected against damage when plant and vehicles access the site. All loading of vehicles with demolished materials shall occur on site.

## Survey Reports

50. Survey reports shall be submitted by the building contractor to the Land & Housing Corporation prior to the placement of the footings / slab and on completion of the dwellings to verify the correct position of the structures in relation to the allotment boundaries.

## Hours of Site preparation / Construction / Civil Work

51. Site preparation / construction / civil work shall only occur on the site between the hours of 7.00am to 5.00pm Monday to Saturday with no work permitted on Sundays or public holidays.

## Excavation & Backfilling

52. All excavations and backfilling associated with the site preparation or erection of building(s) shall be executed safely and in accordance with appropriate professional standards. All such work shall be guarded and protected to prevent it from being dangerous to life or property.

## **Pollution Control**

53. Any noise generated during the site preparation and construction of the development shall not exceed the limits specified in the July 2009 Interim Construction Noise Guidelines, published by the former Department of Environment and Climate Change.
54. No fires shall be lit or waste materials burnt on the site.
55. No washing of concrete forms or trucks shall occur on the site.
56. Any contamination / spills on the site during construction works shall be actively managed and reported immediately to appropriate regulatory authorities to minimise any potential damage to the environment.
57. Dust generation during site preparation / construction shall be controlled using regular control measures such as on site watering or damp cloth fences.
58. All vehicles transporting loose materials and travelling on public roads shall be secured (i.e. closed tail gate and covered) to minimise dust generation.
59. Non-recyclable waste and containers shall be regularly collected and disposed of at a licensed landfill or other disposal site in accordance with details set out in the final Waste Management Plan.

## **Impact of Construction Works**

60. The Land & Housing Corporation shall bear the cost of any necessary adjustments to utility mains and services.
61. Care shall be taken to prevent any damage to adjoining properties. The building contractor shall be liable to pay compensation to any adjoining owner if, due to site preparation /construction works, damage is caused to such adjoining property.

## **Termite Protection**

62. To protect buildings from subterranean termite, termite barriers installed in accordance with AS 3660.1, shall be placed on the underside and in penetrations of the concrete slab floor.

In addition, a durable notice must be permanently fixed inside the meter box indicating:

- (a) the method of protection,
- (b) the date of installation of the system,
- (c) where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label, and
- (d) the need to maintain and inspect the system on a regular basis.

## **PRIOR TO OCCUPATION OF THE DEVELOPMENT**

*The following Identified Requirements are to be complied with prior to the occupation of the development.*

### **General**

63. The use or occupation of the development shall not commence until all the Identified Requirements of this determination have been complied with.

### **Council Infrastructure Damage**

64. The cost of repairing any damage caused to Richmond Valley Council's assets in the vicinity of the site as a result of site preparation / construction works shall be met in full by the building contractor.

### **Stormwater Drainage**

65. Prior to occupation, a Work As Executed Plan shall be prepared by the building contractor clearly showing all aspects of the constructed stormwater drainage system, including any rainwater tank/s and on-site detention system. The plan shall demonstrate general compliance with the approved concept stormwater drainage plan(s) and shall include:

- sufficient levels and dimensions to verify the constructed storage volumes; and
- location and surface levels of all pits; and
- invert levels of the internal drainage lines, orifice plates fitted and levels within the outlet control pits; and
- finished floor levels of all structures; and
- verification that any required trash screens have been installed; and
- locations and levels of any overland flow paths; and
- verification that any drainage lines are located wholly within easements, where applicable.

The Work-As-Executed Plan information shall be shown on the final civil works drawings.

## **PART B – Additional Identified Requirements**

### **Site Specific Requirements**

66. Prior to the occupation of the development LAHC must consult with Richmond Valley Council on the design and location of the bus stop. The bus stop must be constructed and operational prior to the occupation of the development.

### **Requirements Resulting from Council Comments**

67. Where required by the relevant legislation, approvals for work within the Sheppard Street reserve shall be obtained from Richmond Valley Council, prior to these works taking place. These works may include works such as the relocation of the bus stop, construction of vehicle crossings, services, and other infrastructure.



68. The works to connect private drainage to the public drainage infrastructure in Sheppard Street will require an inspection by Engineers of Richmond Valley Council prior to backfilling.
69. The driveway must have tapers adjacent to the kerbline in accordance with R-05 of the Northern Rivers Local Government Development Design and Construction Manual.
70. The internal stormwater drainage network is to be connected into the existing interallotment drainage system which will avoid the further connection to the kerb in Sheppard Street and avoid excavation of the driveway crossing at No.73 Sheppard Street.
71. The kerb on the low (western) side of the driveway is to extend to be integrated with SWP1.
72. Developer Contributions in accordance with Section 64 of the Local Government Act, 1993 and Chapter 6 Part 2 Division 5 of the Water Management Act, 2000 for Water and Sewer Headworks Services area payable to Richmond Valley Council (RVC) prior to the commencement of works. Section 64 Contributions payable are:

<b>Section 64 Local Govt Act &amp; Water Management Act 2000 Levy Area - Casino</b>	<b>TechOne Code</b>	<b>No. of ET's</b>	<b>\$ / ET for 2023-2024</b>	<b>Amount Payable (\$)</b>
RVC Water Headworks	WatS64Hwks	2.0	\$ 9,630.50	\$ 19,261.00
RVC Sewerage Headworks	SewS64Hwks	3.0	\$ 8,000.00	\$ 24,000.00
Rous Water # Water Headworks	Rous64Hwks	N/A	N/A	\$ NIL
<b>Total Section 64 Contributions</b> (current @ 24/7/2023 but generally applicable for payment 1/7/2023 to 30/6/2024) Payments will be in accordance with Council's Revenue Policy at the time of payment				<b>\$43,261.00</b>

73. To ensure that the 30m<sup>3</sup> rainwater tank has sufficient capacity during storm events, the rainwater tank must be plumbed to the toilets, washing machines and landscaped areas of each dwelling. Details are to be provided on the construction drawings.

## ADVISORY NOTES

- i. Approval of this development activity does not imply or infer compliance with Section 23 of the *Disability Discrimination Act 1992*. Refer to AS 1428.1 and the Building Code of Australia for detailed guidance.
- ii. Information regarding the location of underground services may be obtained from Dial Before You Dig at [www.1100.com.au](http://www.1100.com.au) or by dialing 1100.

# Decision Statement

SITE IDENTIFICATION	
<b>STREET ADDRESS</b>	
Unit/Street No	Street or property name
75-77	Sheppard Street
Suburb, town or locality	Postcode
Casino	2470
Local Government Area(s)	Real property description (Lot and DP)
Richmond Valley	Lots 761 & 762 in DP1155484
<b>ACTIVITY DESCRIPTION</b>	
<b>Provide a description of the activity</b>	
The construction of 6 multi dwelling houses comprising 4 x 2 bedroom and 2 x 3 bedroom dwellings, with associated landscaping and fencing, surface parking for 7 cars, and consolidation into a single lot	

The Land & Housing Corporation (LAHC) has proposed the above activity under the provisions of *State Environmental Planning Policy (Housing) 2021* (Housing SEPP) which requires determination under Part 5 of the *Environmental Planning & Assessment Act 1979* (EP&A Act). This Decision Statement relates to the Review of Environmental Factors (REF) for the above activity prepared under Part 5 of the EP&A Act and the *Environmental Planning and Assessment Regulation 2021*.

Based on the REF document and supporting documentation, including advice from Richmond Valley Council, a decision to proceed with the proposed activity has been made. This decision included consideration of the following:

## Significant Impact on the Environment

- The proposed activity is not likely to have a significant impact on the environment and therefore an EIS is not required.
- The proposed activity will not be carried out in a declared area of outstanding biodiversity value and is not likely to significantly affect threatened species, populations or ecological communities, or their habitats or impact biodiversity values, meaning a SIS and/or BDAR is not required.

## Reasons for the Decision

- Following an assessment of the proposed activity and associated environmental impacts within the REF document it was decided that the proposed development will have economic and social benefits and any minor short-term impacts on the environment or surrounding properties can be appropriately mitigated.
- The proposed development will assist in the provision of much needed social and affordable housing and assist in addressing the existing and growing demand for housing in the local government area.

Mitigation Measures

- Mitigation measures are required to minimise or manage environmental impacts and are detailed throughout the REF and specifically within Section 7. All mitigation measures are detailed as Identified Requirements within the Activity Determination. Additional mitigation measures, detailed in the Activity Determination have been imposed to minimise the impact on the surrounding environment, ensure appropriate site safety and to ensure legislative compliance.

Signed.....

Dated...25 November 2023.....

**Emma Nicholson**  
**Acting Head of Policy and Innovation**  
**Land and Housing Corporation**  
**Department of Planning & Environment**



# GENERAL HOUSING DEVELOPMENT

## 75-77 SHEPPARD STREET,CASINO

### LOTS 761 & 762 in DP 1155484



LOCATION DIAGRAM



PERSPECTIVE

#### DRAWING SCHEDULE

ARCHITECTURAL	REFERENCE No
COVER PAGE	A01 -
SITE ANALYSIS PLAN	A02 -
SITE PLAN	A03 -
GROUND FLOOR PLAN	A04 -
FIRST FLOOR PLAN	A05 -
ROOF PLAN	A06 -
ELEVATIONS	A07 -
SECTIONS	A08 -
FINISHES SCHEDULE	A09 -
BLOCK ANALYSIS PLAN	A10 -
SHADOW DIAGRAMS MID WINTER	A11 -
VIEWS FROM SUN DIAGRAM	A12 -
STREET PERSPECTIVE	A13 -
AREAS OF EXCAVATION & FILL	A14 -

CIVIL		
COVER SHEET, LEGEND & DRAWING SCHEDULE	SW000	P2
EROSION & SEDIMENT CONTROL PLAN	SW001	P2
GROUND FLOOR PLAN	SW101	P2
FIRST FLOOR PLAN	SW102	P2
ROOF PLAN	SW103	P2
DETAIL SHEET 1	SW201	P2
DETAIL SHEET 2	SW202	P2

LANDSCAPE		
LANDSCAPE PLAN	LA 1 OF 2	C
LANDSCAPE DETAILS & SPECIFICATION	LA 2 OF 2	C

SURVEY		
DETAIL SURVEY	S SHT 1 OF 1	-
BY: RPS AUSTRALIA EAST PTY LTD		

SURVEY REFERENCE 151687  
DATE 01/05/2022

#### DEVELOPMENT DATA

Job Reference	BGZEG
Locality / Suburb	Casino
Street Address	75-77 Sheppard Sreet
Lot & DP	Lots 2761 and 762 in DP 1155484
Site Area	1354.9 m <sup>2</sup> by title
Existing Lots	2
Proposed GFA	505.6 m <sup>2</sup>
No. of Dwellings	4 x 2 Bed + 2 x 3 Bed = 6 Dwellings

	Control	Requirement	Proposed
HEIGHT	Richmond Valley Council LEP Housing SEPP LRHDG Rear 40% of Site	8.5m 9.0m 4.5m	6.3m to ceiling 7.8m to top of roof rear 40% of site < 4.5m
FSR	Richmond Valley Coast DCP Housing SEPP	0.5:1 (631.5m <sup>2</sup> ) 0.5:1	0.37:1 (505.6m <sup>2</sup> ) 0.37:1 (505.6m <sup>2</sup> )
LOT SIZE & WIDTH	Richmond Valley Coast DCP	Site 1000 m <sup>2</sup> Width 20m	Site 1354.9m <sup>2</sup> Width 34m
SETBACKS	Richmond Valley Coast DCP multi - dwelling LRHDG	Front Setback 6.0m Side Setback = H - 3m	6.0-8.5m to Building 3.0-5.2m to Building East (front) - 5.2m to building 3.2m to awning East (rear) - 3m West - 5m
	LRHDG	Rear Setback = 6m	4m to Building 2m to awning
PARKING	Housing SEPP	1 x (no. 2 Beds) = 4 1.5 x (no. 3 Beds) = 3	7 car spaces
BICYCLE PARKING	LRHDG	1 space per Dwelling = 6	Bicycles to be stored in unit POS
POS Private open space	LAHC Dwelling Requirements Richmond Valley Coast DCP multi - dwelling	1 bed Dwelling = 8m <sup>2</sup> 2 bed Dwelling = 10m <sup>2</sup> 3 bed Dwelling = 12m <sup>2</sup> 1+2 bed Dwelling = 16m <sup>2</sup> 3 bed Dwelling = 25m <sup>2</sup>	All POS > 25m <sup>2</sup> All POS > 25m <sup>2</sup>
SOLAR ACCESS	Housing SEPP	70% for 3hrs in Mid-Winter = 4.2	5 = 83%

Site Area = 1354.9 m <sup>2</sup> by title						SOLAR ACCESS	
DWELLINGS	Number	Type*	Beds	Area* (m <sup>2</sup> )	POS*	LIVING	POS
	1	T/H	2	80	26	6 hr	6 hr
	2	T/H	2	80	27	6 hr	6 hr
	3	T/H	3	99	47	6 hr	6 hr
	4	T/H	3	99	30	2 hr	3 hr
	5	VILLA	2	74.5	60	4 hr	3 hr
	6	VILLA	2	73	31	3 hr	2 hr



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[www.barryrush.com.au](http://www.barryrush.com.au)

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A		

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PROJECT MANAGER <b>LAND &amp; HOUSING CORPORATION</b> PH (02) 8753 9000	CIVIL CONSULTANT <b>ERBAS</b> AND ASSOCIATES PTY LTD PH (02) 9437 1022
LANDSCAPE CONSULTANT <b>GREENLAND DESIGN</b> PTY LTD PH (0403) 164 198	HYDRAULIC & ELECTRICAL CONSULTANT <b>ERBAS</b> AND ASSOCIATES PTY LTD PH (02) 9437 1022

BUSINESS PARTNER:

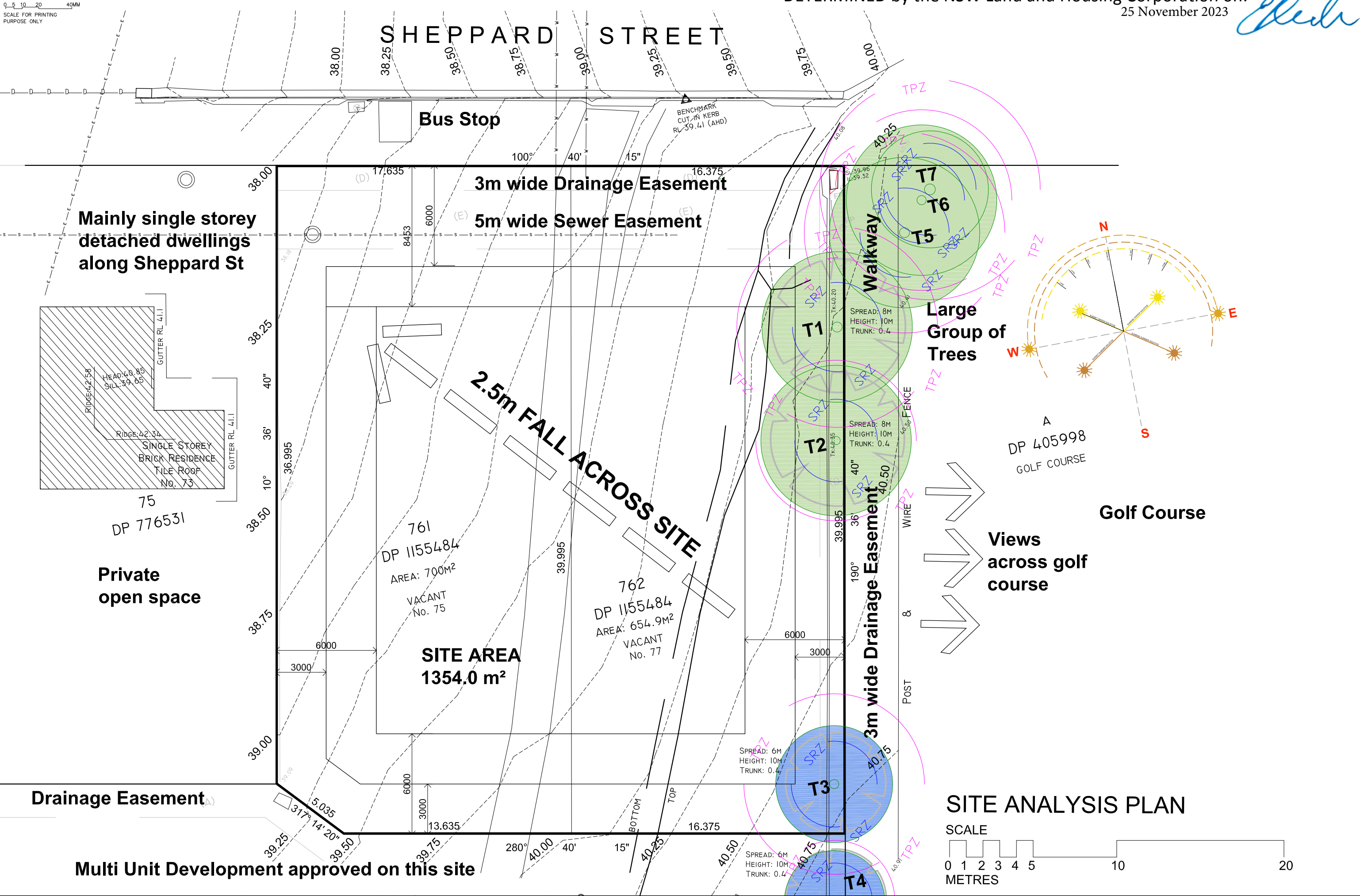
PROJECT:  
HOUSING DEVELOPMENT  
75-77 SHEPPARD STREET  
CASINO, NSW  
LOTS 761 & 762 in DP 1155484

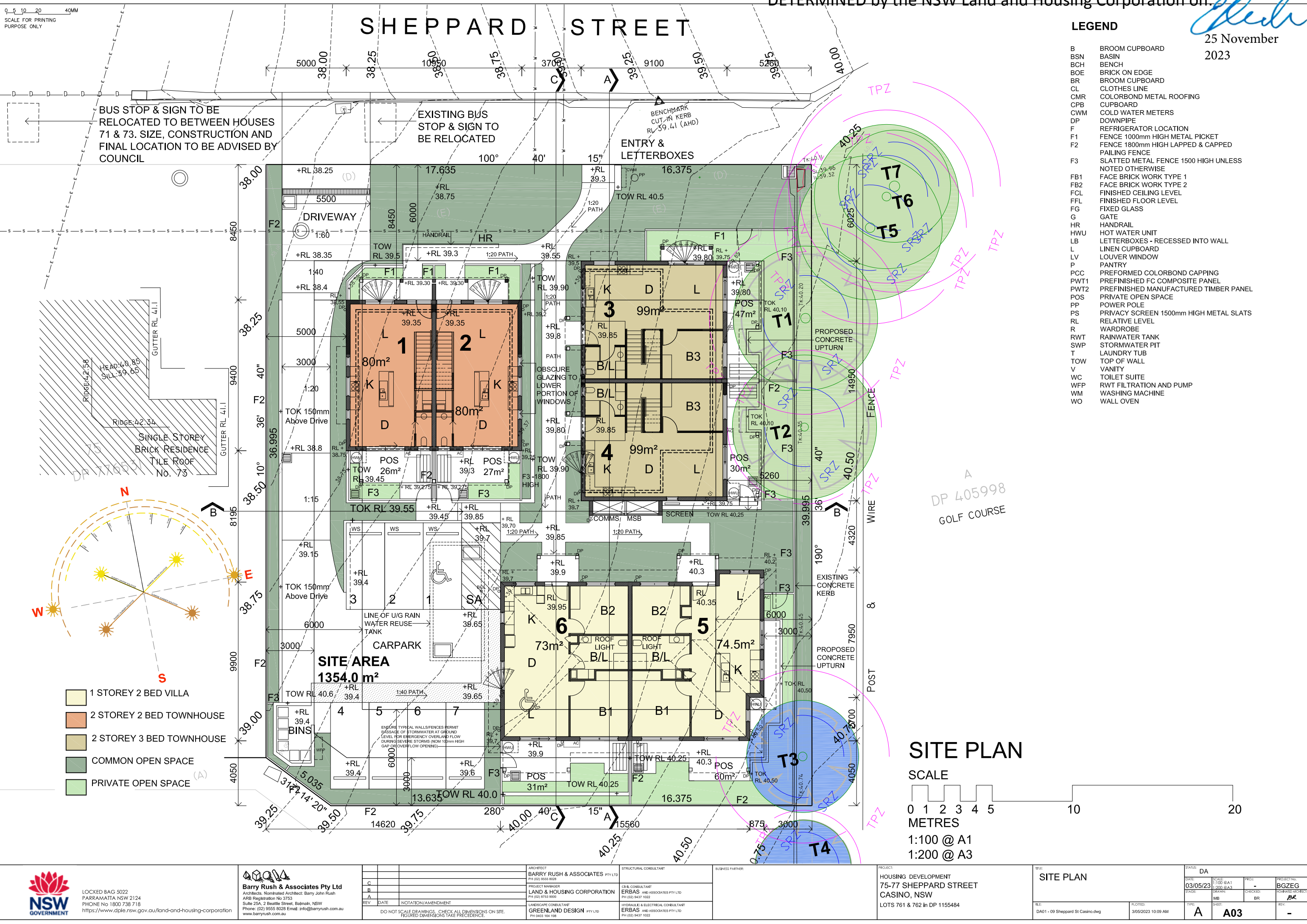
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*Sheeh*

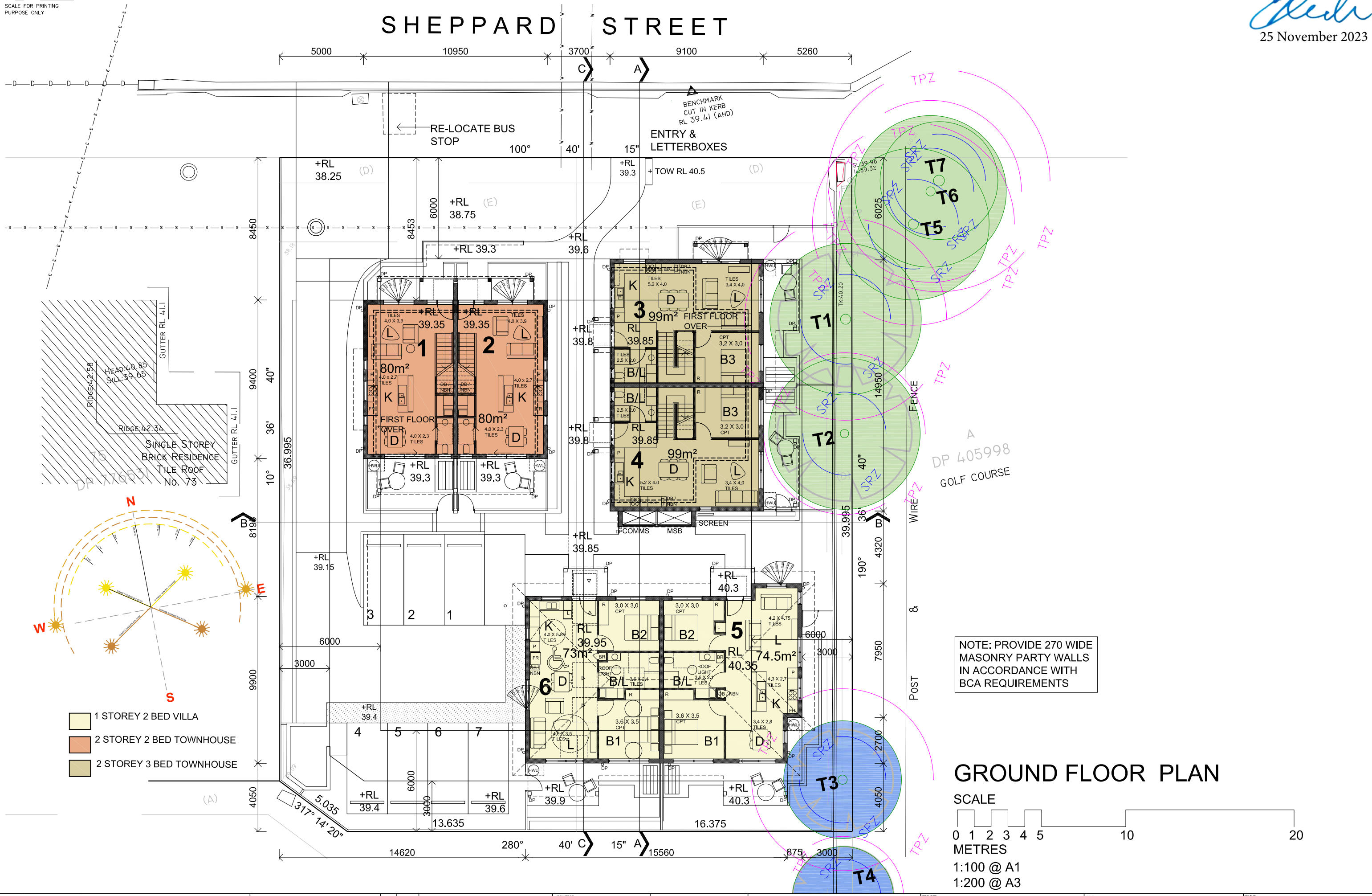




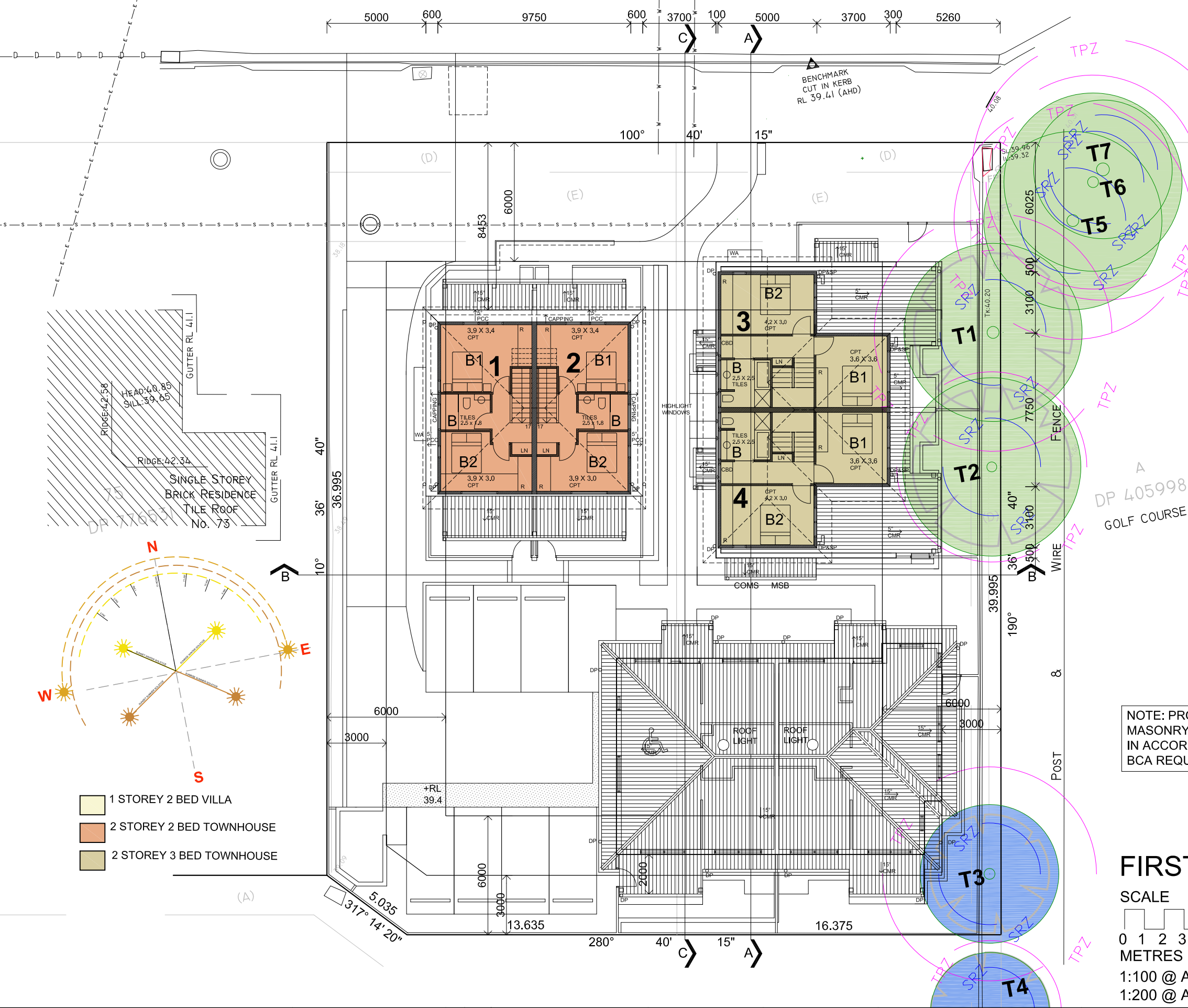


*Chad*  
25 November 2023

0 5 10 20 40MM  
SCALE FOR PRINTING  
PURPOSE ONLY



## SHEPPARD STREET



May 2023 BSA Reference: 19333

Building Sustainability Assessments

Ph: (02) 4962 3439

enquiries@buildingsustainability.net.au

www.buildingsustainability.net.au

## Important Note

The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If the proposed construction varies to those detailed below than the Assessor and NatHERS certificates will no longer be valid. Assessments assume that the BCA provisions for building sealing & ventilation are complied with at construction.

In NSW both BASIX & the BCA variations must be complied with, in particular the following:

- Thermal construction in accordance with Vol 1 Section J1.2 or Vol 2 Part 3.12.1.1
- Thermal breaks for Class 1 dwellings in accordance with Part 3.12.1.2(c) & 3.12.1.4(d)
- Floor insulation for Class 1 dwellings as per Part 3.12.1.5(a)(ii), (iii) & (e) or (c), (d) & (e)
- Building sealing in accordance with Section J3 or Part 3.12.3.1 to 3.12.3.6.

## Thermal Performance Specifications (does not apply to garage)

External Wall Construction	Added Insulation
Brick Veneer & Lightweight	R2.0

Internal Wall Construction	Added Insulation
----------------------------	------------------

Plasterboard on studs	R2.0 to walls adjacent to roof space
Cavity Brick (party walls)	None

Ceiling Construction	Added Insulation
----------------------	------------------

Plasterboard	R3.5 to ceilings adjacent to roof space
--------------	---

Roof Construction	Colour (Solar Absorptance)	Added Insulation
-------------------	----------------------------	------------------

Metal	Basalt (SA 0.69)	Foil + R1.0 blanket
-------	------------------	---------------------

Floor Construction	Covering	Added Insulation
--------------------	----------	------------------

Concrete	As drawn (if not noted default values used)	None
Timber	As drawn (if not noted default values used)	None

Windows	Glass and frame type	U value	SHGC Range	Area sq m
---------	----------------------	---------	------------	-----------

ALM-001-01 A	Aluminium Type A Single clear	6.70	0.51 - 0.63	As drawn
--------------	-------------------------------	------	-------------	----------

ALM-002-01 A	Aluminium Type B Single clear	6.70	0.63 - 0.77	As drawn
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Type A windows are awning windows, bifolds, casements, tilt 'n' turn windows, entry doors, french doors  
Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvres

Skylights	Glass and frame type	U	SHGC	Area sq m	Detail
-----------	----------------------	---	------	-----------	--------

Single glazed in aluminium frames					As drawn
-----------------------------------	--	--	--	--	----------

U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower & the SHGC is within the range specified

## Shade elements (eaves, verandahs, awnings etc)

All shade elements modelled as drawn

## Ceiling Penetrations (downlights, exhaust fans, flues etc)

Modelled as drawn and/or to comply with the ventilation and sealing requirements of the BCA

Ducting is modelled at 150mm. No insulation losses from downlighting have been modelled.

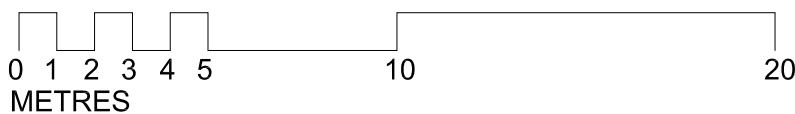
## Additional Notes

1200mm diam. ceiling fans to all bedrooms + 1 to living rooms

NOTE: PROVIDE 270 WIDE  
MASONRY PARTY WALLS  
IN ACCORDANCE WITH  
BCA REQUIREMENTS

## FIRST FLOOR PLAN

SCALE



1:100 @ A1  
1:200 @ A3



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75-77 SHEPPARD STREET  
CASINO, NSW  
LOTS 761 & 762 in DP 1155484

TITLE:  
FIRST FLOOR PLAN

FILE:  
DA01 - 09 Sheppard St Casino.dwg

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3/05/2023 10:09 AM

STATUS: DA

DATE: 03/05/23

SCALE: 1:100 @ A1

STAGE: DRAWN

TYPE: A

PROJ: -

CHECKED: BR

SHEET: A05

REV: -

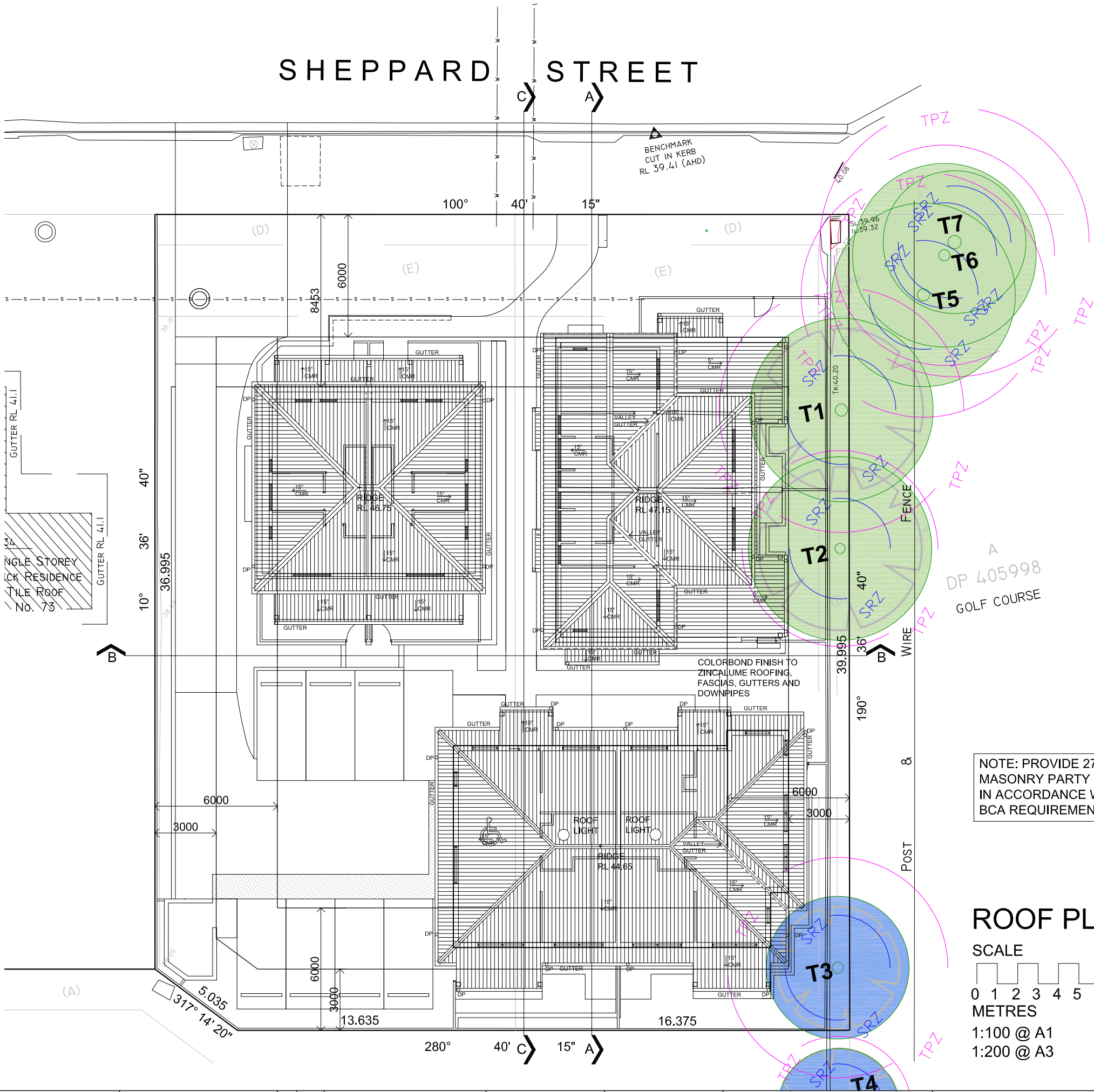
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DESIGNED BY: BR

DRAWN BY: BR

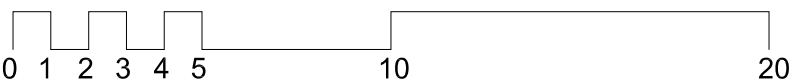
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ROOF PLAN

SCALE



METRES

1:100 @ A1

1:200 @ A3



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CASINO, NSW  
LOTS 761 & 762 in DP 1155484

TITLE:  
ROOF PLAN

FILE:  
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3/05/2023 10:09 AM

STATUS: DA

DATE: 03/05/23

SCALE: 1:100 @ A1

STAGE: MB

TYPE: A

PROJ: -

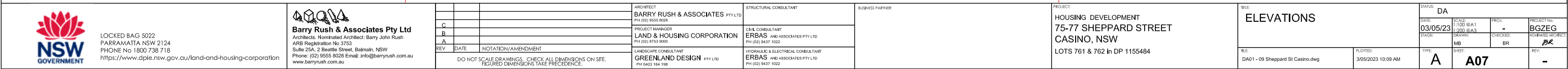
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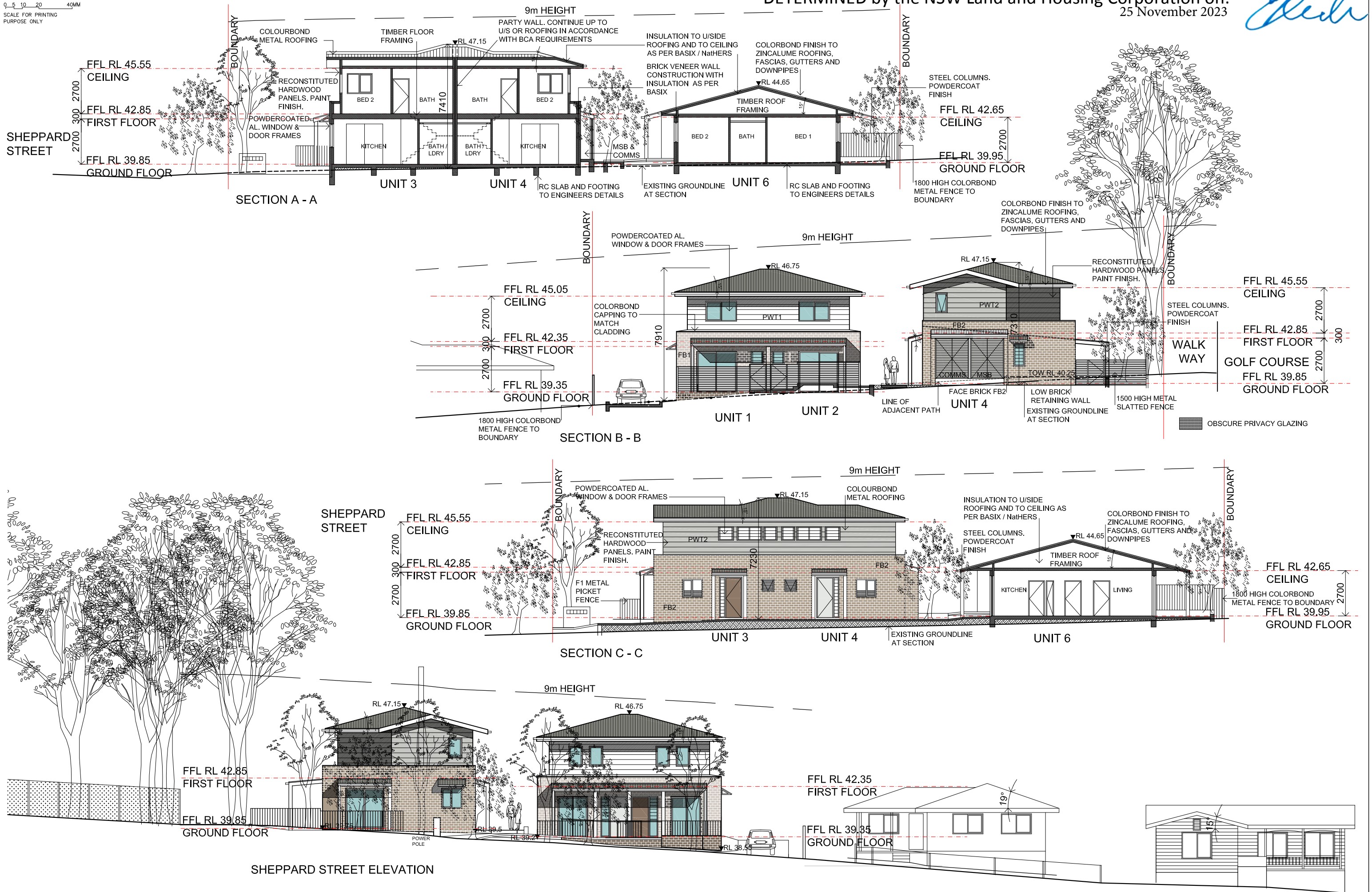
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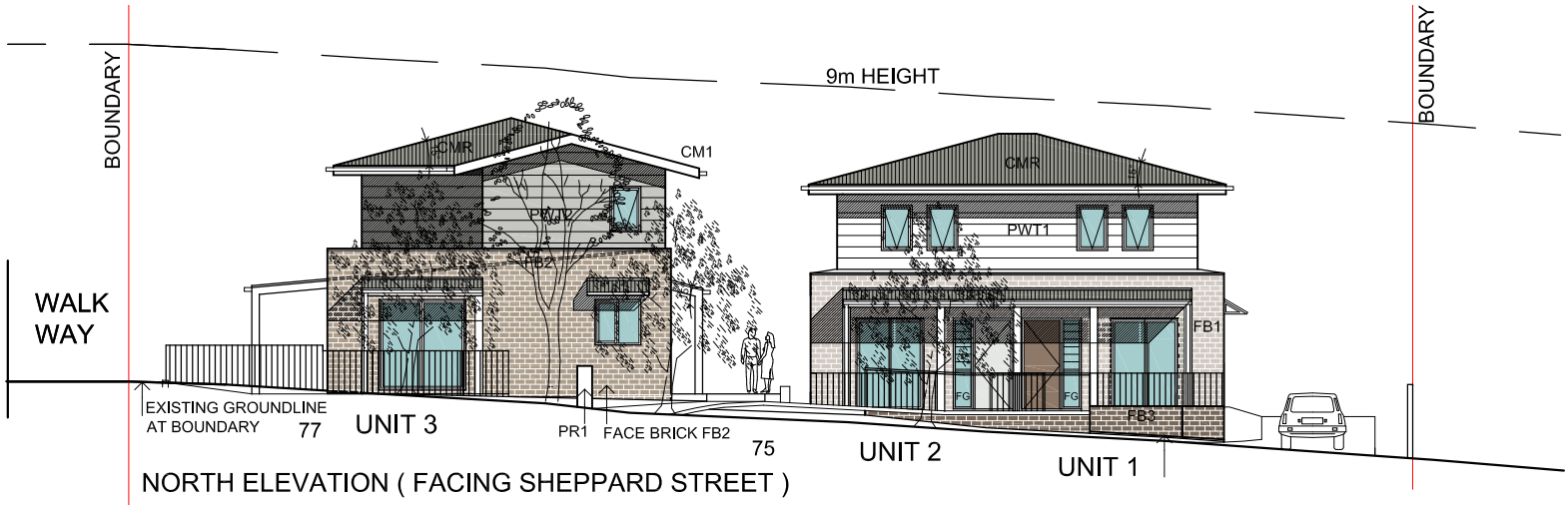
DESIGNED BY: BR







*[Handwritten Signature]*



FINISHES SCHEDULE

CODE	LOCATION		DESCRIPTION	COLOUR
CMR	ROOFING/		CORRUGATED COLORBOND METAL ROOFING	BASALT
CM1	FASCIA, GUTTER, AWNING, COLUMNS & BEAMS		METAL COLORBOND & GALV STEEL	WINDSPRAY
FB1	WALLS UNITS 1 & 2		FACE BRICK light warm	PGH BRICK VELOUR "CRUSHED GREY"
FB2	WALLS UNITS 3, 4, 5 & 6		FACE BRICK light off white	PGH BRICK VELOUR "MINERAL"
FB3	SITE WALLS & BIN STORAGE		FACE BRICK medium warm	PGH BRICK OPALINE "TOURMALINE"
PR1	LETTERBOX WALL		PAINTED RENDER	DULUX LEXICON HALF
FC1	EAVES LINING & SOFFIT		PAINTED FIBER CEMENT SHEETING	DULUX LEXICON HALF

CODE	LOCATION		DESCRIPTION	COLOUR
PWT1	FIRST FLOOR WALLS UNITS 1&2		RECONSTITUTED HARDWOOD PLANKS -PRE SEALED. PAINT FINISH	WATTYL "WINTER SKY"
PWT2	FIRST FLOOR WALLS UNITS 3&4		RECONSTITUTED HARDWOOD PLANKS -PRE SEALED. PAINT FINISH	WATTYL "SEQUOIA DUSK"
W & D	WINDOWS & GLASS DOORS FRAMING		POWEDERCOATED ALUMNIUM	WHITE
PS	PRIVACY SCREEN		ALUMINIUM HORIZONTAL SLATTED BARS	SURFMIST
F1	METAL FENCES TO FRONT POS		POWDERCOATED METAL	DULUX WINDSPRAY
F2	FENCE		1800 HIGH COLORBOND METAL FENCE	DULUX WINDSPRAY
F3	SLATTED METAL FENCES TO REAR POS		1500 HIGH (UNLESS NOTED OTHERWISE) SLATTED POWDERCOATED METAL FENCE	DULUX WINDSPRAY
D1	FRONT DOOR UNITS 1, 3, 5		PAINT FINISH TO ENTRY DOOR	DULUX "TERRAIN"
D2	FRONT DOOR UNITS 2, 4, 6		PAINT FINISH TO ENTRY DOOR	DULUX "LEXICON HALF"



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BUSINESS PARTNER:	PROJECT:
	<b>HOUSING DEVELOPMENT</b> <b>75-77 SHEPPARD STREET</b> <b>CASINO, NSW</b> LOTS 761 & 762 in DP 1155484

TITLE:	STATUS:
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PLOTTED: 3/05/2023 10:09 AM	SCALE: 1:100 (B/A1) 1:200 (B/A3)
TYPE: <b>A</b>	PROJ: - DRAWN: MB CHECKED: BR
SHEET: <b>A09</b>	PROJECT No: <b>BGZEG</b> NOMINATED ARCHITECT: <i>BR</i>
REV: -	



*John*  
25 November 2023



EXISTING 1 STOREY TOWNHOUSE DEVELOPMENT  
46 - 60 SHEPPARD ST



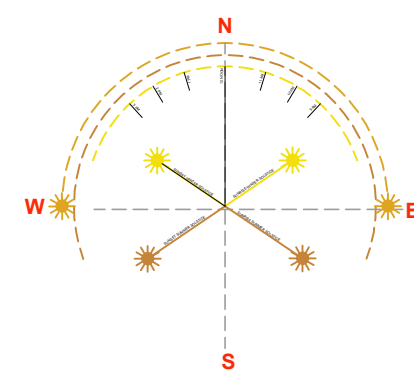
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66 SHEPPARD ST



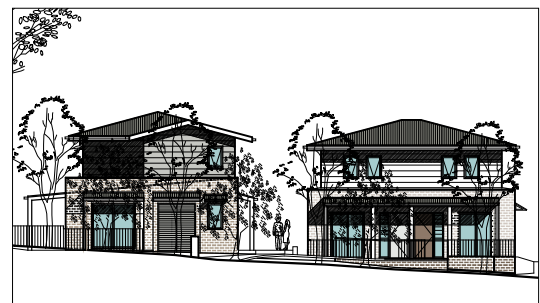
EXISTING 1 STOREY TOWNHOUSE DEVELOPMENT  
4 FAIRWAY DRV



EXISTING 1 STOREY TOWNHOUSE DEVELOPMENT  
9 LAUREL ST



LEGEND: BLOCK PLAN  
 PROPOSED DEVELOPMENT OWNED BY DEPARTMENT OF HOUSING  
 EXISTING DEVELOPMENT (WITH IMAGE)



PROPOSED 2 STOREY TOWNHOUSE DEVELOPMENT  
75 - 77 SHEPPARD ST



EXISTING 1 STOREY TOWNHOUSE DEVELOPMENT  
1 WILLOW PLACE



EXISTING 1 STOREY VILLA DEVELOPMENT  
26 TALLOWOOD AVE



EXISTING 1 STOREY DUAL OCCUPANCY  
2 FAIRWAY DRV

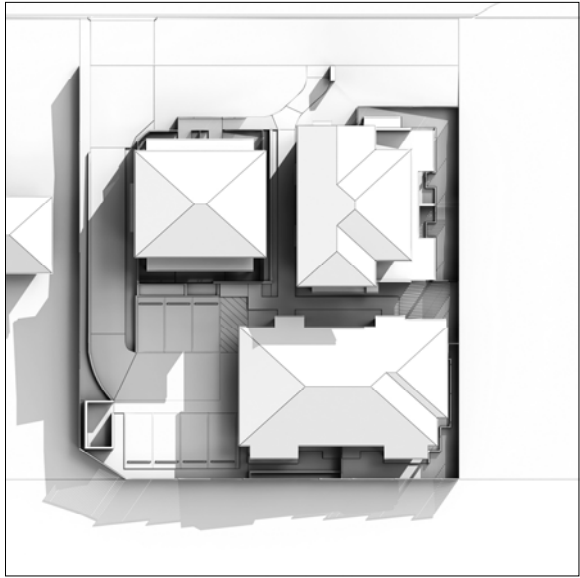


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59 SHEPPARD ST

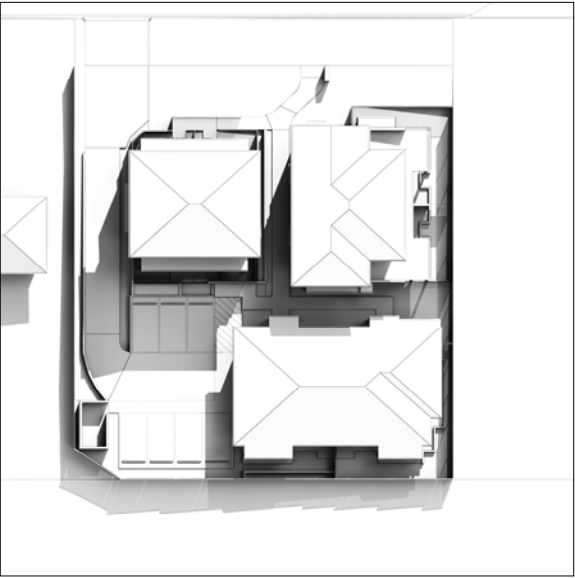


*[Signature]*

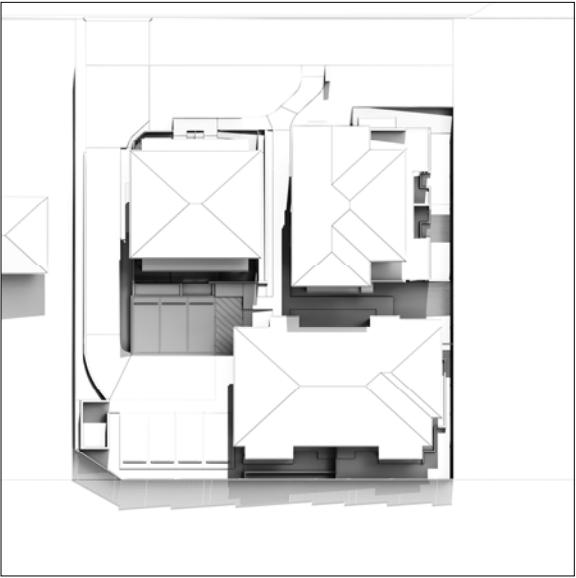
25 November 2023



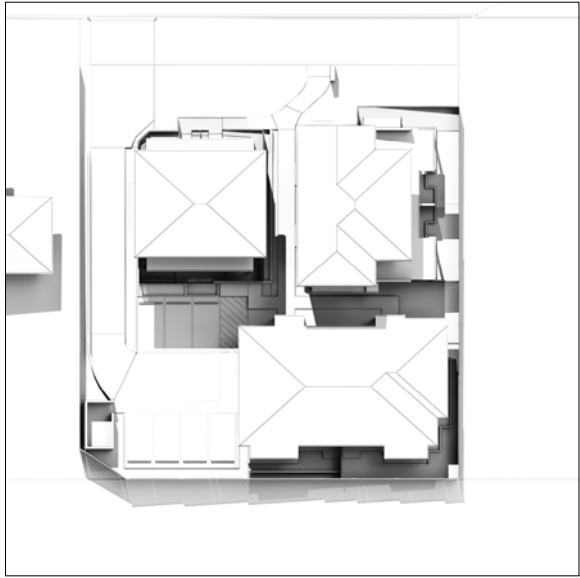
9AM 21ST JUNE



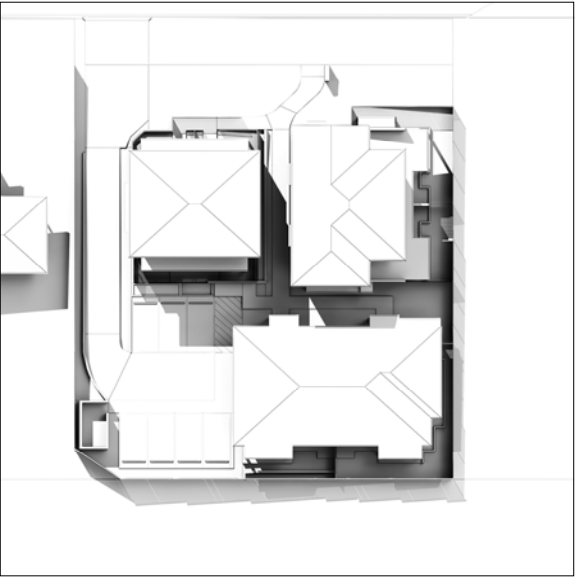
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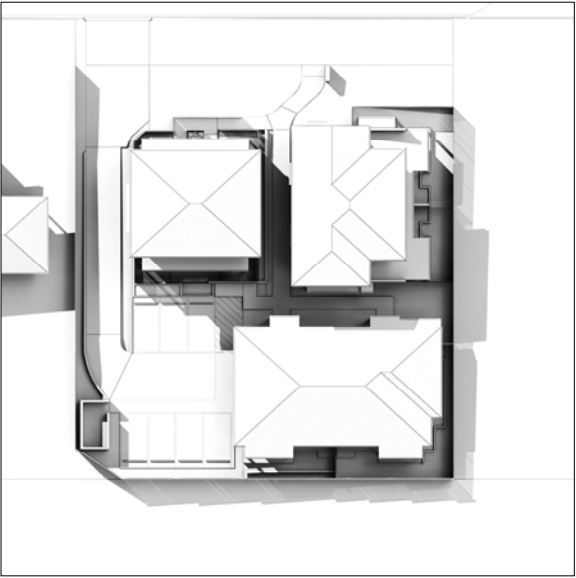
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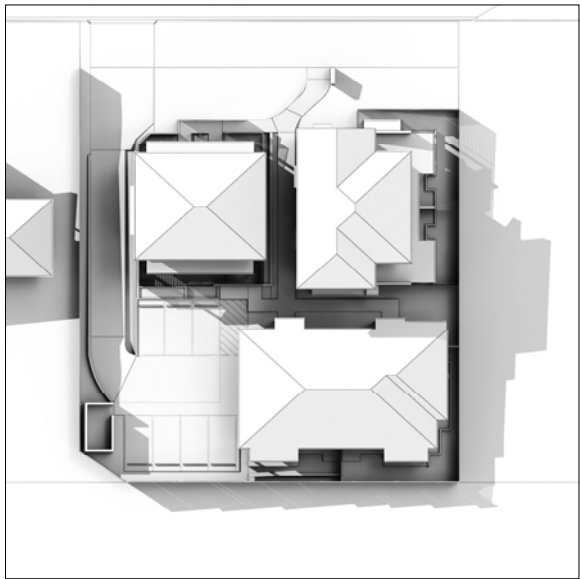
12NOON 21ST JUNE



1PM 21ST JUNE



2PM 21ST JUNE



3PM 21ST JUNE



NORTH

LEGEND:

Grey area indicates shadows cast by proposed development



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BUSINESS PARTNER:

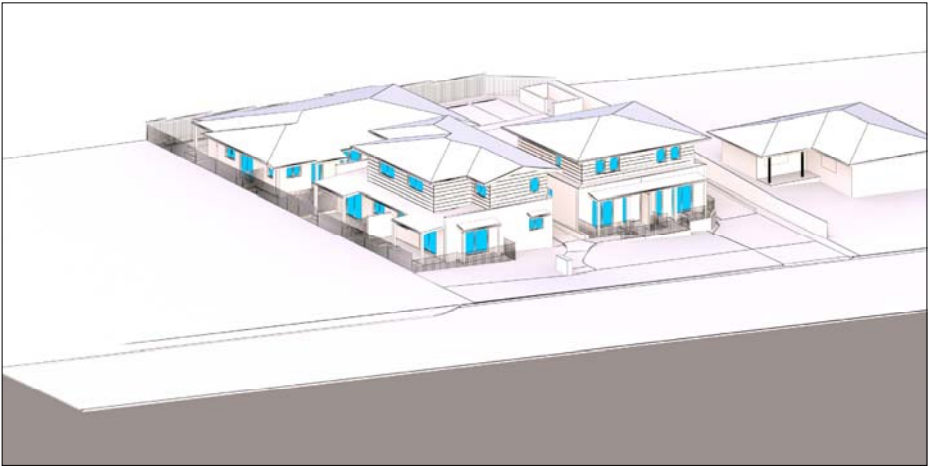
PROJECT:  
HOUSING DEVELOPMENT  
**75-77 SHEPPARD STREET**  
**CASINO, NSW**  
LOTS 761 & 762 in DP 1155484

TITLE:  
**SHADOW DIAGRAMS -**  
**MID WINTER**

FILE:  
DA10 - DA14 Sheppard St Casino.dwg

PLOTTED:  
3/05/2023 10:12 AM

STATUS: <b>DA</b>	PROJECT No:
DATE: <b>03/05/23</b>	<b>BGZEG</b>
SCALE: NTS	
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TYPE: <b>A</b>	SHEET: <b>A11</b>
REV: -	



9AM 21ST JUNE



10AM 21ST JUNE



11AM 21ST JUNE



12NOON 21ST JUNE



1PM 21ST JUNE



2PM 21ST JUNE



3PM 21ST JUNE



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TITLE:  
VIEWS FROM SUN DIAGRAM

FILE:  
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3/05/2023 10:12 AM

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DATE: 03/05/23	BGZEG
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SHEET: A12	

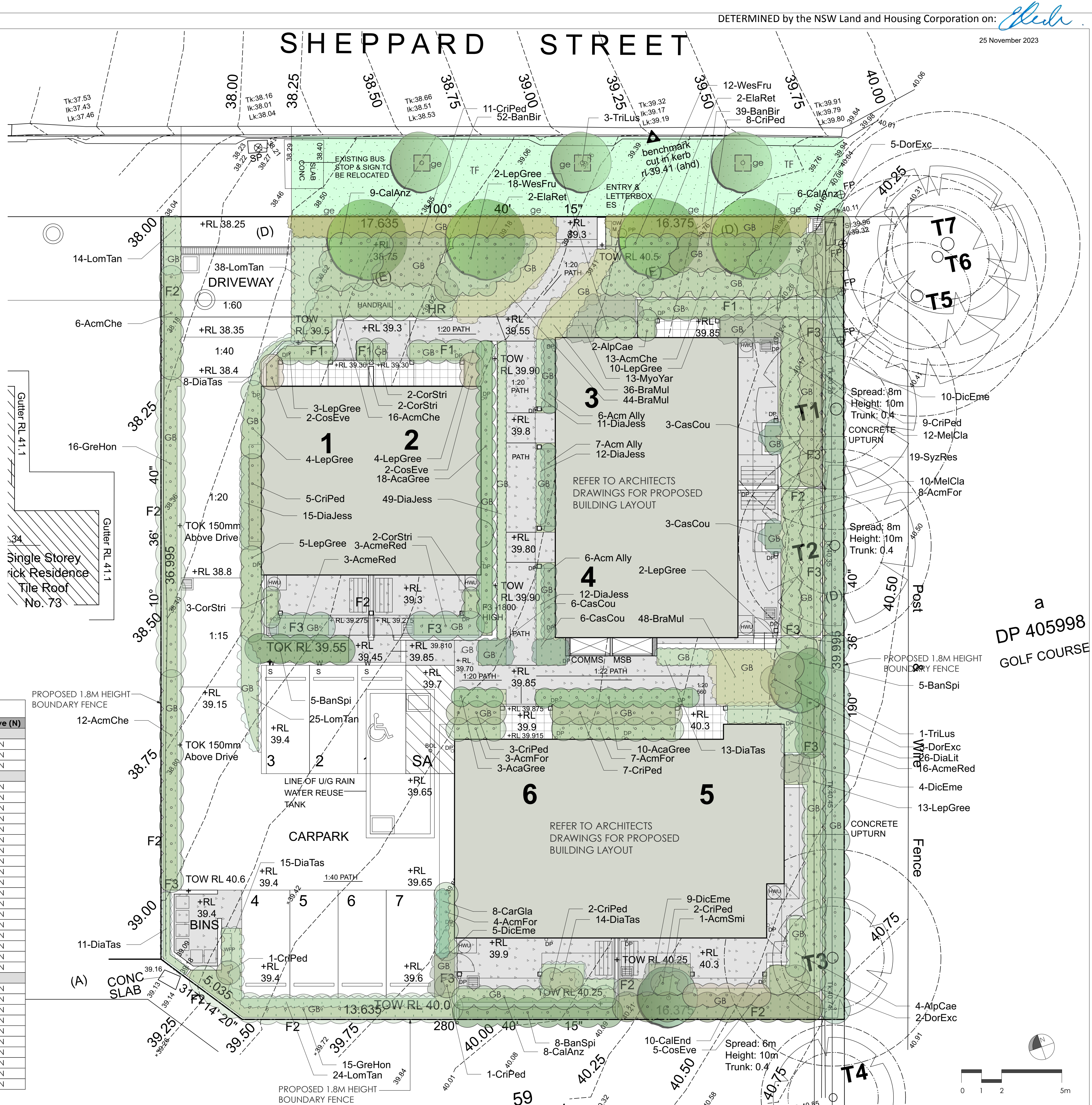






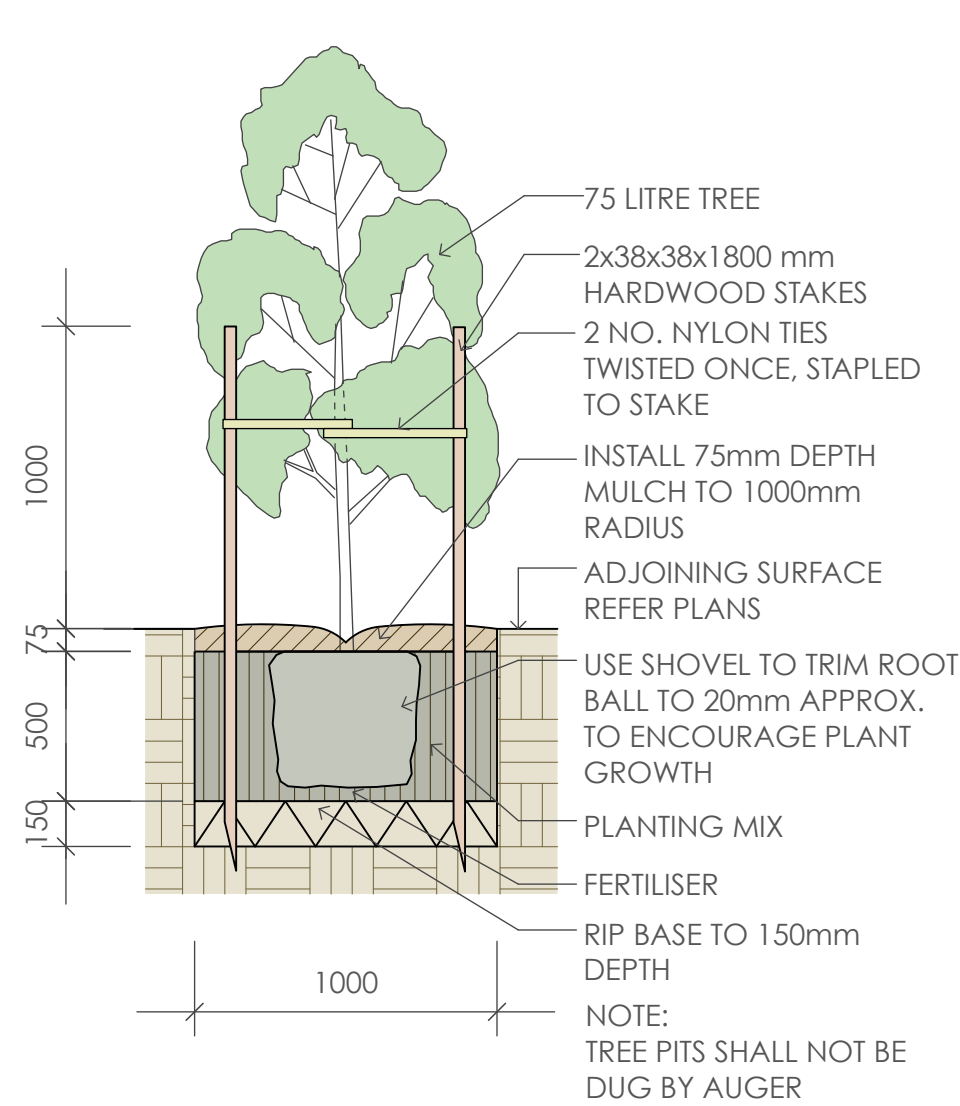




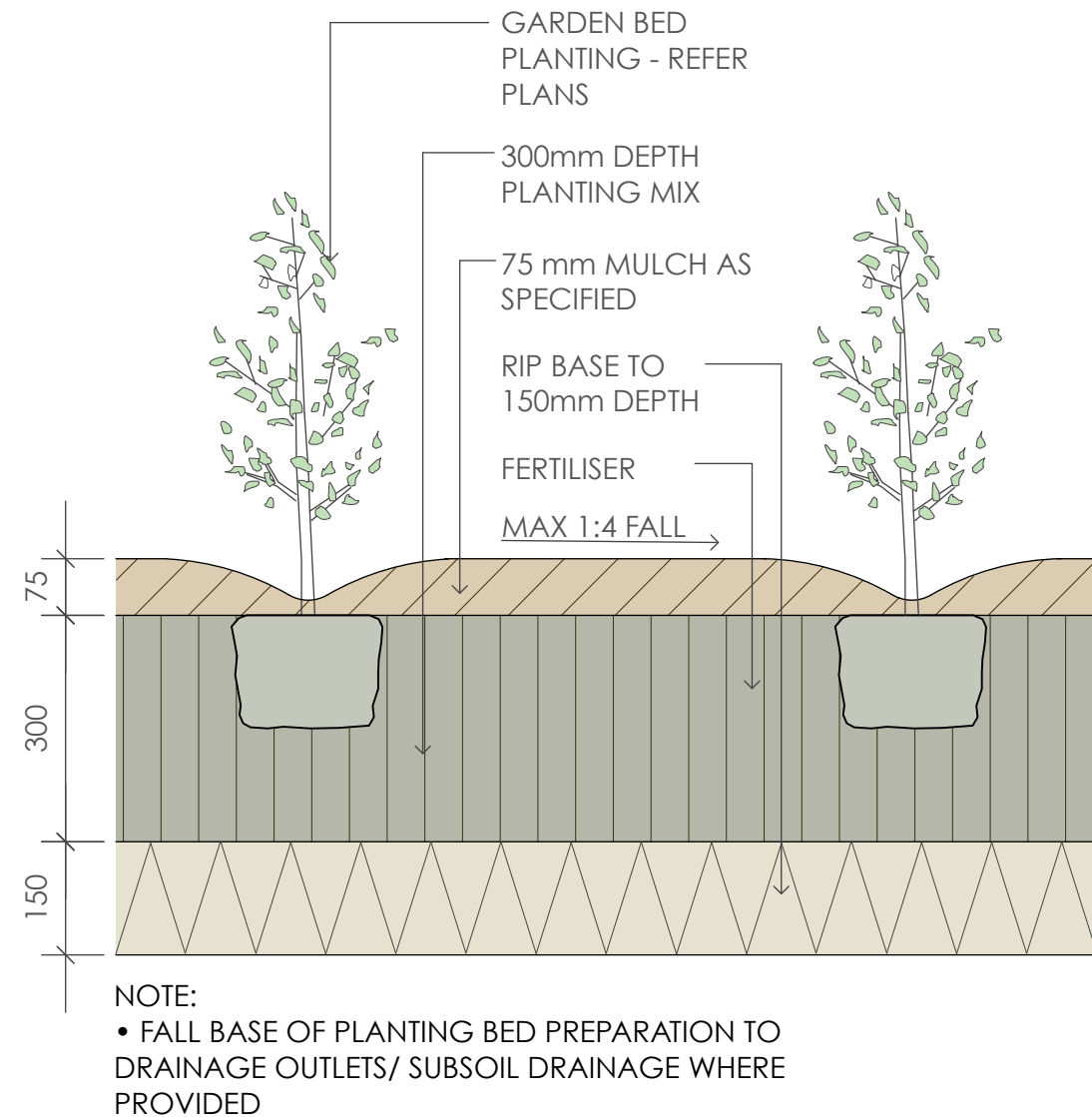


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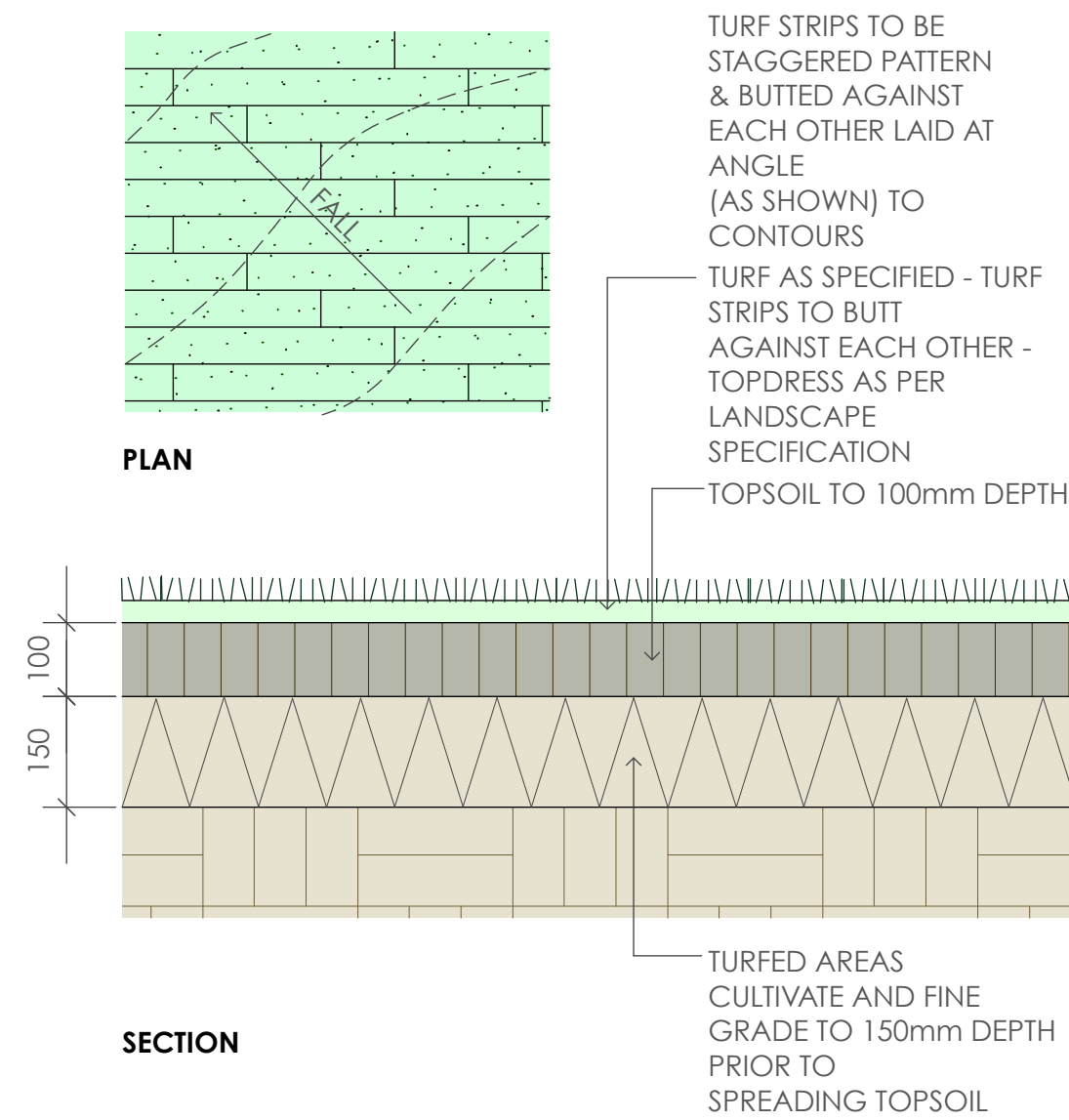




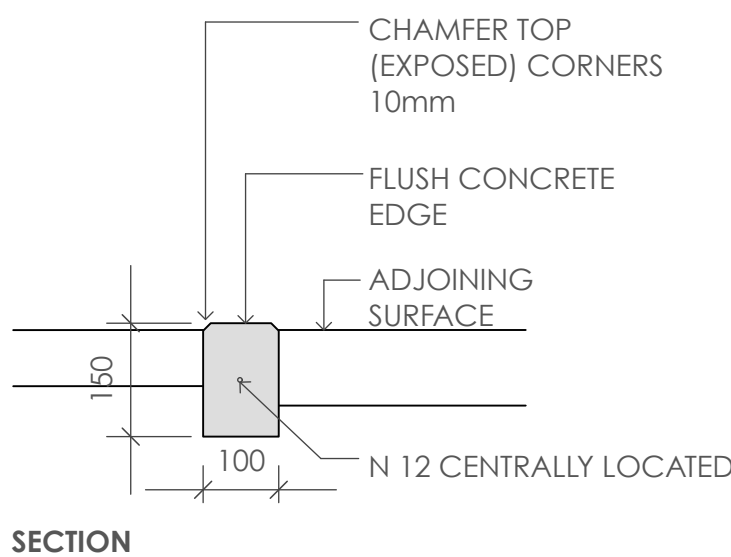
1 75 Litre Tree Planting  
scale 1:25



2 Planting Bed Detail  
scale 1:10



3 Turfing  
scale as shown



4 Concrete Edge  
scale 1:10

SPECIFICATION NOTES

PLANTING MATERIALS

Planting Mix:

Planting mix for free pit backfill shall be "Organic Garden Mix" consisting of  
50% Black Soil  
20% Coarse Sand  
30% Organic Material

as available from Australian Native Landscapes, Phone: [02] 9450 1444, or approved equivalent. Samples shall be provided to the Superintendent prior to ordering or delivery to site. Any material delivered to site, that is rejected by the Superintendent, shall be removed by the contractor at his own expense. Minimum depths of mix to all planting bed areas is as specified on details.

Mulch:

Mulch to garden bed:

Mulch shall mean hardwood mulch (25mm grade), free from material derived from Privet, Willow, Poplar, Coral trees, or other noxious weeds. Any mulch exceeding the 25mm grade shall be rejected / removed from the site. Graded hardwood mulch to be supplied by Australian Native Landscapes Pty Ltd Phone [02] 9450 1444, or approved equivalent.

Spread mulch so that after settling, it is:

- smooth and evenly graded between design surface levels;
- flush with adjacent finished levels;
- of the required depths (75mm); and
- sloped towards the base of plant stems in plantation beds, but not in contact with the stem (not closer than 50mm in the case of gravel mulches).

Place after the preparation of the planting bed, planting and all other work.

Plant Material:

All plant material must be true to the species. No substitutes will be allowed. All plants shall be free of fungus and insect damage. All plants shall be healthy, well shaped, not soft or force grown and not root bound.

Plants are available from **Andreasens Green** wholesale nursery, contact Darren (02) 8777 4713, email [darren@andreasengreen.com.au](mailto:darren@andreasengreen.com.au) or approved equivalent.

Turfed areas:

All new turfed areas are to be selected weed free Soft Leaf Buffalo. Turf shall be laid neatly butted with staggered joins, flush with adjacent surfaces and have even running falls to all drainage points.  
All new turfed area shall have a minimum 150mm depth of weed free top soil, placed and levelled prior to turfing.

PREPARATION AND HARDWORKS

Excavating for Spot Planting

To planting areas, excavate a hole for each plant large enough to provide not less than twice the depth and twice the diameter than the root ball of species to be planted.

Staking

Use durable hardwood, straight, free from knots or twists, pointed at one end. Drive stakes into the ground a minimum one third of their length, avoiding damage to the root system.

- 75 Litre trees in 2 x 38x38x1800mm Hardwood Stake with double Nylon tie TIES: Provide a 50mm wide Nylon webbing tie per stake, fixed securely to the stakes, one tie at half the height of the main stem and the other as necessary to stabilise the plant.

Concrete Edge

MATERIALS: Concrete to be off white colour.

INSTALLATION: Supply and install 150 x 100mm (width) reinforced flush concrete kerb to locations as approved on site by the Superintendent. Provide flexible joints at maximum 3 metre intervals in colour to match concrete. Lightly expose aggregate through rinsing / sponging. Tool finish exposed edges with 10mm pencil round to prevent chipping.

MAINTENANCE / PLANT ESTABLISHMENT

Maintenance shall apply to all hard and soft landscape materials installed prior to the "handover" and acceptance by Principles Representative and the Site Superintendent. The maintenance period shall convenience at the granting of practical completion and shall extend for 12 months.

Maintenance shall consist of the following works:

- Follow a daily watering programme to be approved by Superintendent. Water all plants individually, twice per week or when necessary to ensure constant plant growth.
- Apply appropriate weed control sprays and hand weed as required to maintain planting areas, native grasing bed areas, paved areas, and tree pits in turf free of weed or rogue grass growth.
- Regularly tidy and top up mulch and trim edges to prevent spill over onto paved / grassed areas.
- Spray to control pests and diseases.
- Replace plants, which fail with plants of a similar size and quality as originally specified to approval of Superintendent. Costs of replacement shall be the responsibility of the Contractor. Replacement planting will be undertaken within 2 weeks of identification of dead material or instruction be the Superintendent.
- Report any incidence of plants stolen or destroyed by vandalism.
- Adjust stakes and ties to plants as necessary. Ensure that strangulation of plants does not occur.
- Prune and shape plants as directed or where necessary.
- Make good any defects or faults arising out of defective workmanship or materials.
- Make good any erosion or soil subsidence, which may occur including soft areas in pathways.
- A final inspection shall be made by the Superintendent before handover. Any items requiring rectification shall be repaired before the works are finally approved, and retention moneys released.

NOTE:

- All finished levels are to be verified by Contractor on site.
- All landscape works be in strict accordance with Council's landscape code and guidelines
- This plan to be used in conjunction with all other submitted architectural, hydraulics and engineering drawing where applicable.

GREENLAND DESIGN	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
TWELVE MONTHS MAINTENANCE SCHEDULE												
Plant Care												
Monitoring												
Pruning as required												
Deadhead /tip pruning												
Slow release fertilise												
Rapid soluble fertilise as required												
Cut back perennials and grasses												
Watering as required												
Garden Bed												
Edging												
Remove weeds and herbicide spraying as required												
Top up mulch as required												
Dead foliage removal												
Pest Management												
Monitoring and herbicide spraying as required												
Turfed Area												
Fertilise												
Make good turf as required												
Winter clean up												
Remove dead foliage and pruning as required												



# 75-77 SHEPPARD STREET, CASINO

## STORMWATER SERVICES

### LEGEND

#### ABBREVIATIONS

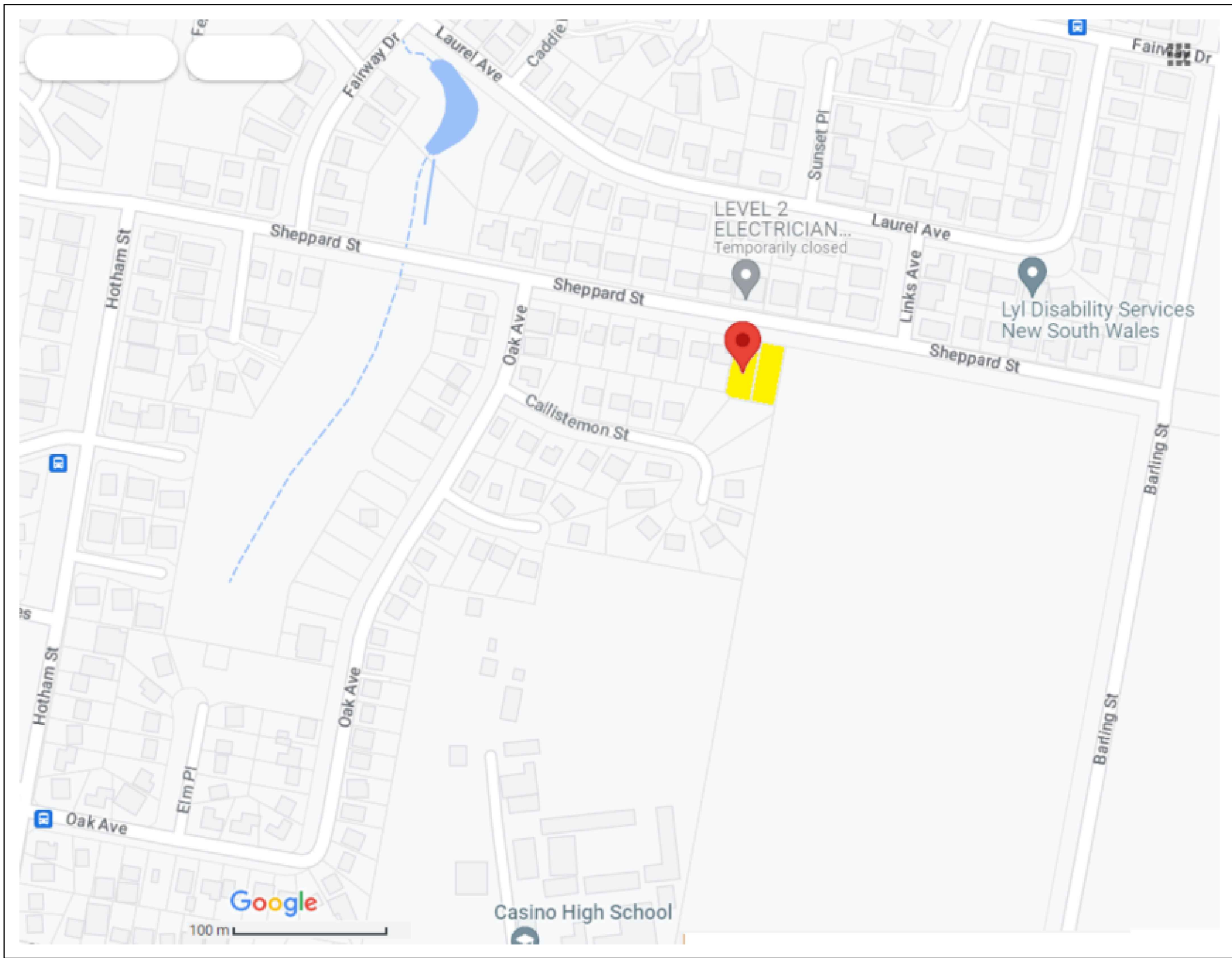
AEP	ANNUAL EXCEEDANCE PROBABILITY
ARI	AVERAGE RECURRENCE INTERVAL
CO	CLEAROUT
Ø	DIAMETER
DP	DOWNPIPE
DWG	DRAWING
e	EXISTING
GTD	GRADED TRENCH DRAIN
IL	INVERT LEVEL
kPa	KILOPASCALS
L	LITRES
L/s	LITRES PER SECOND
m	METRES
m <sup>2</sup>	SQUARE METRES
m <sup>3</sup>	CUBIC METRES
m/s	METRES PER SECOND
mm	MILLIMETRES
NOM	NOMINAL
OF	OVERFLOW
PVC	UNPLASTICIZED POLYVINYL CHLORIDE
Q100	QUANTITY OF FLOW FOR 100 YEAR ARI STORM
Q20	QUANTITY OF FLOW FOR 20 YEAR ARI STORM
RL	REDUCED LEVEL
SAC	SEWER ACCESS CHAMBER
SWP	STORMWATER PIT
UNO	UNLESS NOTED OTHERWISE

#### PIPE SERVICES

— E22.20 —	EXISTING/NATURAL CONTOUR
— — — — —	STORMWATER DRAINAGE
— — — — —	EXISTING LARGE STORMWATER
— RW —	RAINWATER DRAINAGE
— / — / —	SUBSOIL DRAINAGE
— — — — —	OVERFLOW
— — — — —	CATCHMENT EXTENT
— — — — —	SEDIMENT FENCE
— — — — —	EXISTING SERVICE
— W —	EXISTING AUTHORITY WATER MAIN
— S —	EXISTING AUTHORITY SEWER MAIN

#### SYMBOLS

— ● —	PENETRATING PIPE
— ○ —	NON-PENETRATING PIPE
— ● —	PENETRATING OFFSET
— ○ —	NON-PENETRATING OFFSET
— ● —	PENETRATING TEE DROPPER
— ○ —	NON-PENETRATING TEE DROPPER
— — — — —	PIPE BREAK
— — — — —	CAPPED SERVICE
— — — — —	OPEN ENDED PIPE
— — — — —	CONNECT TO EXISTING PIPE
— — — — —	SERVICE CONNECTION
— — — — —	STREET HYDRANT
— — — — —	PUMP CONTROL
— — — — —	SURFACE FLOW DIRECTION
— — — — —	SURFACE GRADING TO DIRECT FLOW
— — — — —	PIPE NETWORK NODE
— — — — —	CLEAR OUT
— — — — —	RAINWATER OUTLET
— — — — —	GRADED TRENCH DRAIN
— — — — —	DETAIL NUMBER & DESCRIPTION
— — — — —	DRAWING REFERENCE & SCALE



STREET LOCATION PLAN

SCHEDULE OF DRAWINGS	
DRAWING No.	DRAWING TITLE
SYD23062-SW000	COVER SHEET, LEGEND & DRAWING SCHEDULE
SYD23062-SW001	EROSION & SEDIMENT CONTROL PLAN
SYD23062-SW101	GROUND FLOOR PLAN
SYD23062-SW102	FIRST FLOOR PLAN
SYD23062-SW103	ROOF PLAN
SYD23062-SW201	DETAIL SHEET 1
SYD23062-SW202	DETAIL SHEET 2

IMPORTANT - FOR PRINCIPAL CONTRACTOR						
TO ENABLE THE ISSUE OF STORMWATER CERTIFICATION PERMITTING OCCUPATION IN ALIGNMENT WITH COUNCIL LEGISLATION, SITE INSPECTIONS MUST OCCUR. THE PRINCIPAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL STORMWATER INSPECTIONS. ABSENCE OF INSPECTION WILL PREVENT ISSUE OF STORMWATER CERTIFICATION. SITE INSPECTIONS ARE TO BE COMPLETED BY ERBAS AS FOLLOWS:						
INSPECTION NO.	STORMWATER INSPECTION REQUIREMENTS	ERBAS REPRESENTATIVE		INSPECTION DATE	PASS TICK	FAIL OR N/A
		NAME	SIGNATURE			
1	INSPECTION OF INGROUND STORMWATER DRAINAGE PRIOR TO BACKFILL (MANDATORY)					
2	INSPECTION OF ANY INGROUND STORMWATER DRAINAGE NOT VIEWED AT INSPECTION NO. 1 (OPTIONAL)					
3	INSPECTION OF INFILTRATION PIT / TANK / TRENCH PRIOR TO BACKFILL (JOB SPECIFIC)					
4	FINAL INSPECTION ON COMPLETION OF ALL LANDSCAPING & POST COMMISSIONING OF THE STORMWATER SYSTEM (MANDATORY)					
5	SURVEY OF RAINWATER & ONSITE DETENTION TANKS & WORKS AS EXECUTED STORMWATER DRAWINGS (MANDATORY) *TO BE PROVIDED TO ERBAS PRIOR TO INSPECTION					

THIS DRAWING HAS BEEN PREPARED IN CONJUNCTION WITH THE FOLLOWING DRAWINGS			
Discipline	Draw No.	Date	Revisions
ARCHITECT			
STRUCTURAL			
MECHANICAL			
ELECTRICAL			
DATA			
LANDSCAPE			

THE DESIGN AND DETAILS SHOWN ON THESE DRAWINGS ARE APPLICABLE TO THIS PROJECT ONLY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART OR BE USED FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE WRITTEN PERMISSION OF ERBAS & ASSOCIATES WITH WHICH COPYRIGHT RESIDES. ALL DIMENSIONS IN MILLIMETRES UNLESS OTHERWISE SHOWN. WORK TO FIGURES DIMENSIONS. DO NOT SCALE FROM DRAWINGS. CHECK ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS.

ISSUE	DATE	AMENDMENT
P1	10.02.23	PRELIMINARY ISSUE FOR ARCHITECTS REVIEW
P2	04.05.23	DEVELOPMENT APPLICATION ISSUE

ARCHITECT

**Barry Rush & Associates Pty Ltd**  
Architects. Nominated Architect: Barry John Rush  
ARB Registration No 3753  
Suite 25A, 2 Beattie Street, Balmain, NSW  
Phone: (02) 9555 8028 Email: info@barryrush.com.au  
www.barryrush.com.au

CLIENT

**NSW GOVERNMENT**

LOCKED BAG 5022  
PARRAMATTA NSW 2124  
PHONE No 1800 738 718  
https://www.dpi.nsw.gov.au/and-and-housing-corporation

BUILDING SERVICES ENGINEER

**erbas**  
Sydney Melbourne Manila  
L1, 15 Atchison Street, St Leonards NSW 2065  
Ph: (02) 9437 1022 general@erbas.com.au  
www.erbas.com.au

DESIGNED	IY
CHECKED	MS
NORTH POINT	

PROJECT

MULTI-DWELLING  
HOUSING DEVELOPMENT  
75-77 SHEPPARD STREET,  
CASINO NSW  
(RICHMOND VALLEY COUNCIL)

DRAWING TITLE STORMWATER SERVICES COVER SHEET, LEGEND & DRAWING SCHEDULE			
SCALE of A1	PROJECT No.	DRAWING No.	ISSUE
DATE FEB 2023 DRAWN IY	SYD23062-SW000	P2	





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CHECK ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS.

[illegible]

**Barry Rush & Associates Pty Ltd**  
Architects. Nominated Architect: Barry John Rush  
ARB Registration No 3753  
Suite 25A, 2 Beattie Street, Balmain, NSW  
Phone: (02) 9555 8028 Email: [info@barryrush.com.au](mailto:info@barryrush.com.au)  
[www.barryrush.com.au](http://www.barryrush.com.au)



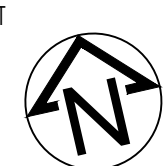
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erbas<sup>+</sup>

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L1, 15 Atchison Street, St Leonards NSW 2065  
Ph: (02) 9437 1022 [general@erbas.com.au](mailto:general@erbas.com.au)  
[www.erbas.com.au](http://www.erbas.com.au)

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PROJECT  
MULTI-DWELLING  
HOUSING DEVELOPMENT  
75-77 SHEPPARD STREET,  
CASINO NSW  
(RICHMOND VALLEY COUNCIL)

DRAWING TITLE  
STORMWATER SERVICES  
EROSION & SEDIMENT CONTROL PLAN

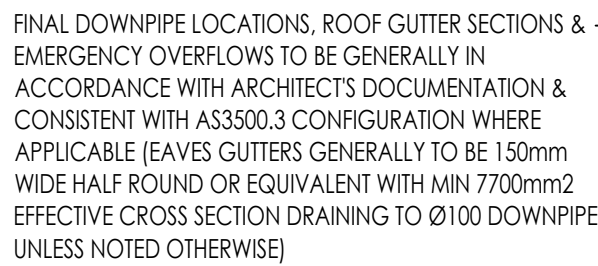
SCALE at A1 1:100	PROJECT No.	DRAWING No.	ISSUE
DATE FEB 2023	SYD23062-SW001		P2
DRAWN BY			





THIS DRAWING HAS BEEN PREPARED IN CONJUNCTION WITH THE FOLLOWING DRAWINGS:				ISSUE		DATE		AMENDMENT		ARCHITECT		CLIENT		BUILDING SERVICES ENGINEER		DESIGNED		PROJECT		DRAWING TITLE	
Drawing				P1		10.02.23				ARCHITECT		CLIENT		BUILDING SERVICES ENGINEER		DESIGNED		PROJECT		DRAWING TITLE	
Dwg No.				P2		04.05.23		PRELIMINARY ISSUE FOR ARCHITECT'S REVIEW		ARCHITECT		CLIENT		BUILDING SERVICES ENGINEER		DESIGNED		PROJECT		DRAWING TITLE	
Date				P3		30.08.23		DEVELOPMENT APPLICATION ISSUE		ARCHITECT		CLIENT		BUILDING SERVICES ENGINEER		DESIGNED		PROJECT		DRAWING TITLE	
Revisions								CONSTRUCTION CERTIFICATE ISSUE		ARCHITECT		CLIENT		BUILDING SERVICES ENGINEER		DESIGNED		PROJECT		DRAWING TITLE	
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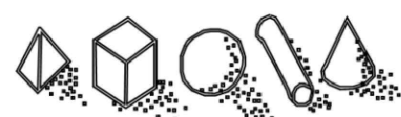




THIS DRAWING HAS BEEN PREPARED IN CONJUNCTION WITH THE FOLLOWING DRAWINGS:				
Discipline	Drawg No.	Date	Revisions	
ARCH PLAN	DA01-09 Sheppard St Casino for CONSULTANTS 000623 (CAD FILE)	05.03.03	-	
ARCH EOP				
STRUCTURAL				
MECHANICAL				
ELECTRICAL				
CIVIL				
LANDSCAPE				

[illegible]

ARCHITECT



**Barry Rush & Associates Pty Ltd**  
Architects. Nominated Architect: Barry John Rush  
ARB Registration No 3753  
Suite 25A, 2 Beattie Street, Balmain, NSW  
Phone: (02) 9555 8028 Email: [info@barryrush.com.au](mailto:info@barryrush.com.au)  
[www.barryrush.com.au](http://www.barryrush.com.au)

CLIENT



LOCKED BAG 5022  
PARRAMATTA NSW 2124  
PHONE No 1800 738 718  
<https://www.dpie.nsw.gov.au/land-and-housing-corporation>

BUILDING SERVICES ENGINEER



DESIGNED

\_\_\_\_\_

CHECKED



PROJECT  
MULTI-DWELLING  
HOUSING DEVELOPMENT  
75-77 SHEPPARD STREET,  
CASINO NSW  
(RICHMOND VALLEY COUNCIL)

DRAWING TITLE  
STORMWATER SERVICES  
FIRST FLOOR PLAN

SCALE at A1 1:100	PROJECT No.	DRAWING No.	ISSUE
DATE FEB 2023	SYD23062-SW102		P2
DRAWN BY			



DRAWING TITLE STORMWATER SERVICES ROOF PLAN			
SCALE at A1 1:100	PROJECT No.	DRAWING No.	ISSUE
DATE FEB 2023	SYD23062-SW103		P2
DRAWN BY			



STORMWATER MANAGEMENT PLAN INFORMATION

DEVELOPMENT AUTHORITY: Richmond Valley Council

SITE ADDRESS: 75-77 Sheppard Street, Casino NSW

DEVELOPMENT GUIDELINES

- Richmond Valley Council - Development Control Plan 2021 - Part A-1 Dwelling Houses in the R1 General Residential Zone
- Richmond Valley Council - Development Control Plan 2021 - Part I-9 Water Sensitive Design

EXISTING SITE CHARACTERISTICS

- Site area = 1355m<sup>2</sup>
- Two existing vacant residential lots
- Located approximately 100m west of Links Avenue, on south side of Sheppard Street.
- Survey plan prepared by RPS Australia East Pty Ltd - Drawing Reference 151687 [Rev 1] - dated 24/05/2022 indicates Australian Height Datum (AHD) site surface contours ranging from a localised high point of about RL40.74 near the southeast corner of the site down to about RL38.04 at the northwest corner of the site. The average site slope is observed to be about 5%.

LOCAL FLOODING EFFECTS

Based on the Casino Floodplain Hazard Categories map the subject property at is NOT considered to be affected by flooding.

EXISTING STREET DRAINAGE

Based on site survey of the existing property undertaken on 1 May 2022, it was observed that existing underground street drainage includes a kerb inlet pit near the northwest corner of the site, on the south side of Sheppard Street.

PROPOSED CONNECTION

It is proposed that site drainage from the new development will be directed to the existing street pit in Sheppard Street.

RAINWATER STORAGE

Based on Richmond Valley Council - Development Control Plan 2021 - Part A-1 Dwelling Houses in the R1 General Residential Zone, Table A1.13 requires each dwelling to be provided with a minimum 5000L rainwater storage tank. Rainwater storage requirements for new residential dwellings are also typically provided to satisfy State Environmental Policy Building Sustainability Index (BASIX) assessment requirements. It is proposed that an equivalent 5000L rainwater storage will be provided for each of 6 dwellings (total 30m<sup>3</sup>).

STORMWATER QUALITY

Based on Richmond Valley Council - Development Control Plan 2021 - Part A-1 Dwelling Houses in the R1 General Residential Zone, Table A1.13 requires at least 80% of proposed impermeable ground surface to be directed towards lawn or garden areas, to promote natural infiltration. Based on Richmond Valley Council - Development Control Plan 2021 - Part I-9 Water Sensitive Design, Table I-9.2 for residential lots requires either:

- a minimum 5000L rainwater tank for each dwelling to capture at least 50% of the associated roof area OR
- an infiltration/absorption system to capture at least 80% of total roof area OR
- a bioretention system to capture at least 80% of total roof area

It is proposed that an equivalent 5000L rainwater storage will be provided for each of 6 dwellings (total 30m<sup>3</sup>) AND at least 80% of impervious ground surfaces will be graded to direct runoff towards lawn or garden areas on the western side of the site.

STORMWATER GENERATION

Based on Richmond Valley Council - Development Control Plan 2021 - Part I-9 Water Sensitive Design, Table I-9.4 for residential lots requires either:

- a minimum 5000L rainwater tank for each dwelling to capture at least 50% of the associated roof area OR
- an infiltration/absorption system to capture at least 80% of total roof area OR
- a bioretention system to capture at least 80% of total roof area

It is proposed that an equivalent 5000L rainwater storage will be provided for each of 6 dwellings (total 30m<sup>3</sup>) AND at least 80% of impervious ground surfaces will be graded to direct runoff towards lawn or garden areas on the western side of the site.

TEMPORARY EROSION & SEDIMENT CONTROL MEASURES

Based on Richmond Valley Council - Development Control Plan 2021 - Part A-1 Dwelling Houses in the R1 General Residential Zone, Table A1.13 requires erosion and sediment control measures to be implemented. During construction works the management of soil and water movement requiring erosion and sediment control is to be undertaken in accordance with the Landcom publication *Soils and Construction: Managing Urban Stormwater 4th Edition, March 2004* (also known as "the Blue Book"). Temporary construction measures to be undertaken include:

- Sediment fencing on the low side of earthmoving operations
- A gravel layer at the construction vehicle access point into the area of works
- Regular monitoring of soil movement characteristics and cleaning of sediment deposits as required during construction
- Security fencing around the area of construction works

CONCLUSION

This Stormwater Management Plan identifies and addresses the following items relating to anticipated engineering assessment by Richmond Valley Council:

- Mainstream flooding effects are not considered to be applicable to the site of proposed works
- Existing Council street drainage along Sheppard Street provides the opportunity for an underground stormwater connection
- Minimum 30000L or 30m<sup>3</sup> rainwater storage is proposed to address Council & BASIX requirements
- Stormwater quality and generation are to be addressed by rainwater storage and by directing impervious ground surfaces towards landscaped areas
- Erosion and sediment movement is to be controlled during construction with suitable measures to prevent undesirable soil deposits around the works area

EROSION & SEDIMENT CONTROL ASSESSMENT

Based on Soils and Construction: Managing Urban Stormwater - 4th Edition - March 2004

Assumed area of Soil Disturbance = 1355 m<sup>2</sup> = 0.1355 ha  
Rainfall Erosivity Factor R = 3400 for CASINO from APPENDIX B: MAP 2 ON PAGE B-4  
Take Site Slope = 5%

Indicative Erosion Hazard is LOW based on Section 4.4.1 Figure 4.6 on page 4-10

Use Revised Universal Soil Loss Equation (RUSLE) to check:  
Soil Erodibility Factor K = 0.060 for CASINO from www.environment.nsw.gov.au/espade2webapp  
Slope Length/Gradient Factor Ls = 1.19 from APPENDIX A: USING 80m LENGTH IN TABLE A1 ON PAGE A-9  
Erosion Control Practice Factor P = 1.3 from APPENDIX A: TABLE A2 ON PAGE A-11  
Ground Cover & Management Factor C = 1.0 from APPENDIX A: FIGURE A5 ON PAGE A-12

Soil Loss = 316 t/ha/yr  
Soil Loss Class = 3 for SOIL LOSS BETWEEN 226 & 350t/ha/yr based on SECTION 4.4.2 TABLE 4.2 ON PAGE 4-13

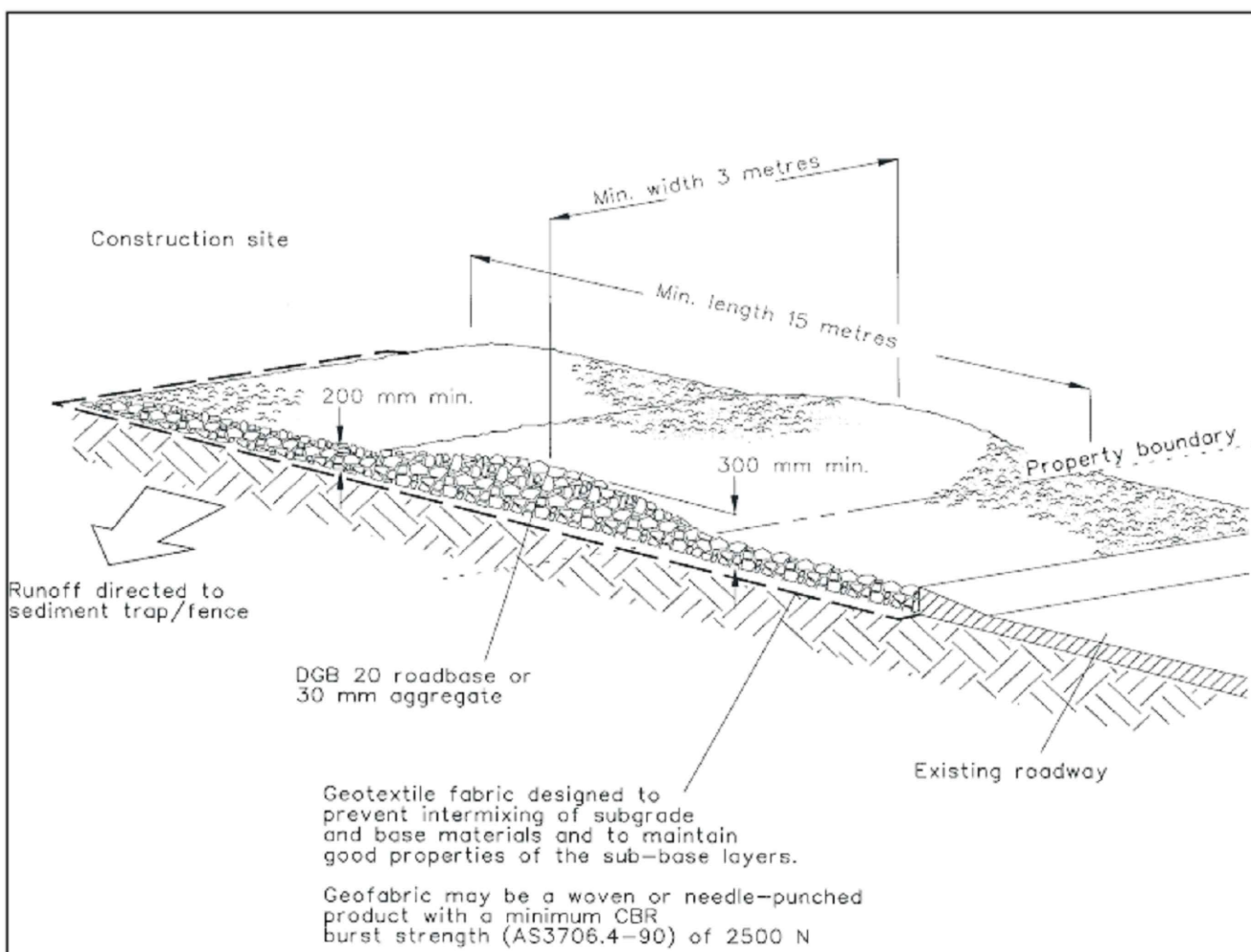
Erosion Hazard is therefore LOW-MODERATE AND THERE ARE NO SEASONAL RESTRICTIONS ON SITE ACTIVITY

For 1.0 t/m<sup>3</sup> density, Average Annual Soil Loss = 316 m<sup>3</sup>/yr  
SINCE THIS IS GREATER THAN THAN 150m<sup>3</sup>/yr, A SEDIMENT BASIN WOULD BE CONSIDERED NECESSARY UNLESS INDIVIDUAL SOIL DISTURBANCE AREAS CAN BE LIMITED TO 2500m<sup>2</sup> OR LESS based on SECTION 6.3.2(d) ON PAGE 6-8

FOR THE AREA TO BE DISTURBED ON THIS SITE, SEDIMENT FENCES ARE CONSIDERED SATISFACTORY

10yr 5min RAINFALL INTENSITY = 185 mm/h  
10yr 1hr RAINFALL INTENSITY = 55.7 mm/h  
Refer to SECTION 2.1 ON PAGE 2-1, SECTION 4.4.1(a) ON PAGE 4-9 & SECTION 4.3.2(h)(iv) ON PAGE 4-4  
LENGTHS OF SEDIMENT FENCING SHOULD BE ARRANGED TO LIMIT SUBCATCHMENT FLOWS TO 50L/s  
Refer to SECTION 6.3.7 (e) ON PAGE 6-34 & SECTION 2.3.1(e) ON PAGE 2-4

A fully pervious area of up to 1900 m<sup>2</sup> can be accommodated by one length of sediment fencing



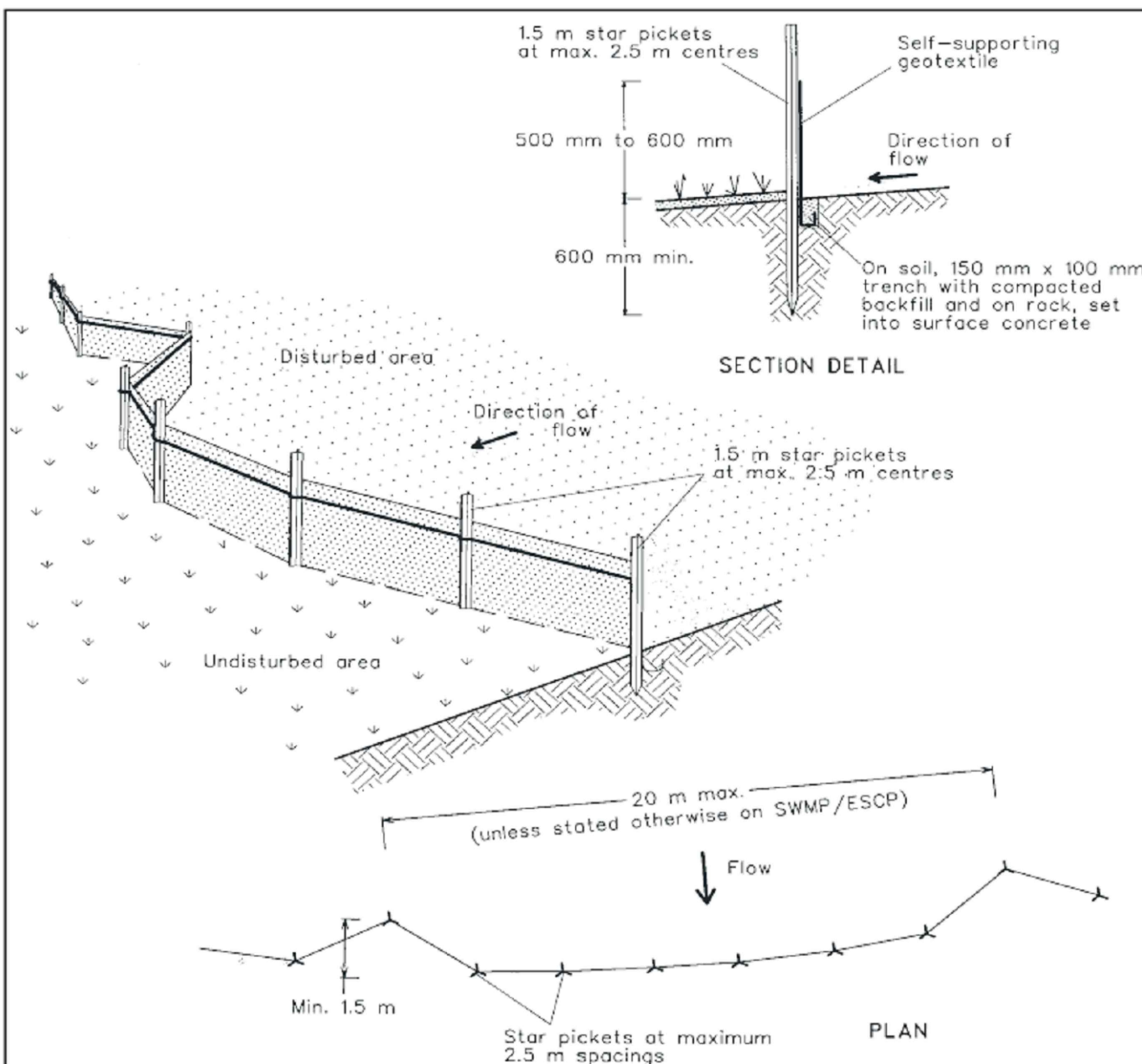
Construction Notes

1. Strip the topsoil, level the site and compact the subgrade.
2. Cover the area with needle-punched geotextile.
3. Construct a 200-mm thick pad over the geotextile using road base or 30-mm aggregate.
4. Ensure the structure is at least 15 metres long or to building alignment and at least 3 metres wide.
5. Where a sediment fence joins onto the stabilised access, construct a hump in the stabilised access to divert water to the sediment fence

STABILISED SITE ACCESS

SD 6-14

D1 STABILISED SITE ACCESS  
SW001 NOT TO SCALE



Construction Notes

1. Construct sediment fences as close as possible to being parallel to the contours of the site, but with small returns as shown in the drawing to limit the catchment area of any one section. The catchment area should be small enough to limit water flow if concentrated at one point to 50 litres per second in the design storm event, usually the 10-year event.
2. Cut a 150-mm deep trench along the upslope line of the fence for the bottom of the fabric to be entrenched.
3. Drive 1.5 metre long star pickets into ground at 2.5 metre intervals (max) at the downslope edge of the trench. Ensure any star pickets are fitted with safety caps.
4. Fix self-supporting geotextile to the upslope side of the posts ensuring it goes to the base of the trench. Fix the geotextile with wire ties or as recommended by the manufacturer. Only use geotextile specifically produced for sediment fencing. The use of shade cloth for this purpose is not satisfactory.
5. Join sections of fabric at a support post with a 150-mm overlap.
6. Backfill the trench over the base of the fabric and compact it thoroughly over the geotextile.

SEDIMENT FENCE

SD 6-8

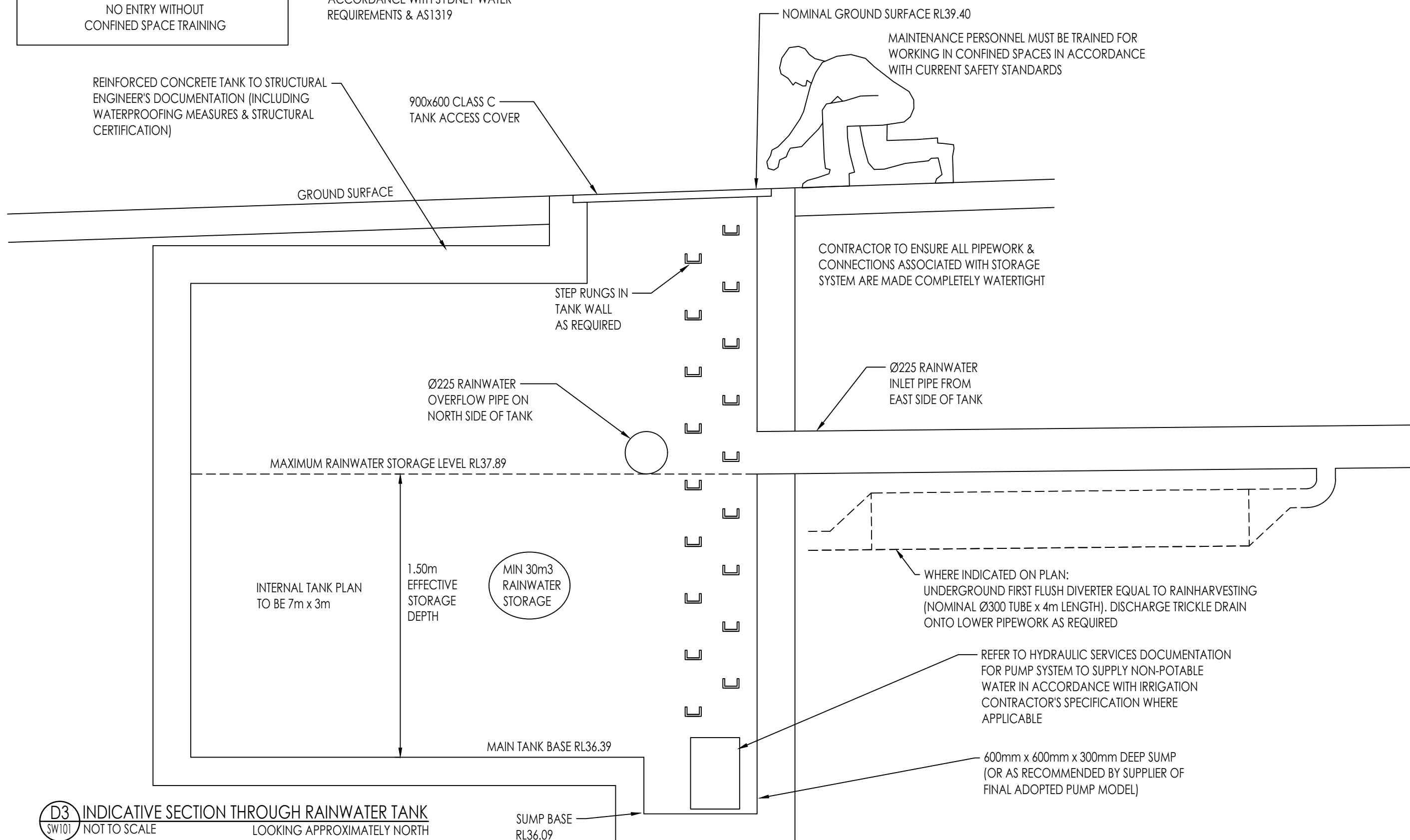
D2 SEDIMENT FENCE  
SW001 NOT TO SCALE

IN ACCORDANCE WITH CONSENT CONDITION 40:  
WHERE APPLICABLE:  
PROVIDE VISIBLE SIGNAGE NEAR TANK ACCESS LID  
(MADE OF METAL OR DURABLE SYNTHETIC MATERIAL):

ANGER  
CONFINED SPACE  
NO ENTRY WITHOUT  
CONFINED SPACE TRAINING

PROVIDE VISIBLE WARNING SIGNAGE  
AT ALL RAINWATER TANK OUTLETS  
(e.g. GARDEN HOSE TAPS) IN  
ACCORDANCE WITH SYDNEY WATER  
REQUIREMENTS & AS1319

REINFORCED CONCRETE TANK TO STRUCTURAL  
ENGINEER'S DOCUMENTATION (INCLUDING  
WATERPROOFING MEASURES & STRUCTURAL  
CERTIFICATION)



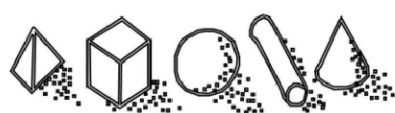
D3 INDICATIVE SECTION THROUGH RAINWATER TANK  
SW001 NOT TO SCALE  
LOOKING APPROXIMATELY NORTH

Discipline	Chg. No.	Date	Revisions
ARCHITECTURAL			
MECHANICAL			
STRUCTURAL			
ELECTRICAL			
PLUMBING			
LANDSCAPE			

THIS DESIGN AND DETAILS SHOWN ON THESE DRAWINGS ARE APPLICABLE TO THIS PROJECT ONLY AND MAY NOT BE REPRODUCED OR ADAPTED FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE WRITTEN PERMISSION OF ERBAS & ASSOCIATES PTY LTD. ALL DIMENSIONS AND VALUES SHOWN ON THESE DRAWINGS ARE TO BE USED FOR CONSTRUCTION. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS.

ISSUE	DATE	AMENDMENT
P1	10.02.23	PRELIMINARY ISSUE FOR ARCHITECTS REVIEW
P2	04.05.23	DEVELOPMENT APPLICATION ISSUE

ARCHITECT



**Barry Rush & Associates Pty Ltd**  
Architects. Nominated Architect: Barry John Rush  
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www.barryrush.com.au

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PARRAMATTA NSW 2124  
PHONE No 1800 738 718  
https://www.dpis.nsw.gov.au/and-and-housing-corporation

BUILDING SERVICES ENGINEER



DESIGNED

IY

CHECKED

MS

NORTH POINT

PROJECT

MULTI-DWELLING  
HOUSING DEVELOPMENT  
75-77 SHEPPARD STREET,  
CASINO NSW  
(RICHMOND VALLEY COUNCIL)

DRAWING TITLE  
STORMWATER SERVICES  
DETAIL SHEET 1

SCALE OF AT	PROJECT No.	DRAWING No.	ISSUE
-	-	-	-
DATE FEB 2023 DRAWN IY	SYD23062-SW201	P2	



## STORMWATER PIPE SCHEDULE

STORMWATER PIPE SIZING BY RATIONAL FORMULA & COLEBROOK-WHITE EQUATION  
Coefficient of runoff determined in accordance with Ch. 14 of AR & R (1987)

PROJECT: 75-77 SHEPPARD ST CASINO

Design rainfall intensity = 213.00 mm/h      Pipe roughness k = 0.015 mm  
ARI = 20 years      Fy = 1.05      10 year 1 hour intensity = 55.70 mm/h

D/S	NODE	D/S	NODE	AREA m2	IMPERV %	COEF	SLOPE %	INFLOW L/s	PIPEFLOW L/s	CAP L/s	SIZE mm
	1	2	6	100	0.94	1.00	0.3	0.3	8.0	100	
	2	3	30	100	0.94	1.00	1.7	2.0	8.0	100	
	3	4	30	100	0.94	1.00	1.7	3.7	8.0	100	
	4	22	7	100	0.94	1.00	0.4	4.1	8.0	100	
	5	6	6	100	0.94	1.00	0.3	0.3	8.0	100	
	6	9	30	100	0.94	1.00	1.7	2.0	8.0	100	
	7	8	4	100	0.94	1.00	0.2	0.2	8.0	100	
	8	9	27	100	0.94	1.00	1.5	1.7	8.0	100	
	9	10	0	100	0.94	1.00	0.0	3.7	8.0	100	
	10	11	1	100	0.94	1.00	0.1	3.8	8.0	100	
	11	14	1	100	0.94	1.00	0.1	3.7	8.0	100	
	12	13	30	100	0.94	1.00	1.7	1.7	8.0	100	
	13	14	7	100	0.94	1.00	0.4	2.1	8.0	100	
	21	0	100	0.94	1.00	5.0	5.9	8.0	100		
	15	16	30	100	0.94	1.00	1.7	1.7	8.0	100	
	16	17	30	100	0.94	1.00	1.7	3.4	8.0	100	
	17	18	2	100	0.94	1.00	0.1	3.5	8.0	100	
	18	19	30	100	0.94	1.00	1.7	5.1	8.0	100	
	19	51	30	100	0.94	1.00	1.7	6.8	8.0	100	
	20	21	27	100	0.94	1.00	1.5	8.6	23.7	150	
	21	22	0	100	0.94	1.00	0.0	14.5	23.7	150	
	22	28	0	100	0.94	1.00	0.0	18.6	23.7	150	
	23	24	29	100	0.94	1.00	1.6	1.6	8.0	100	
	24	25	14	100	0.94	1.00	0.8	2.4	8.0	100	
	25	26	22	100	0.94	1.00	1.2	3.6	8.0	100	
	26	27	14	100	0.94	1.00	0.8	4.4	8.0	100	
	27	28	14	100	0.94	1.00	0.8	5.2	8.0	100	
	28	36	0	100	0.94	1.00	0.0	23.8	69.3	225	
	29	30	19	100	0.94	1.00	1.1	1.1	8.0	100	
	30	31	15	100	0.94	1.00	0.8	1.9	8.0	100	
	31	32	26	100	0.94	1.00	1.5	3.4	8.0	100	
	32	33	16	100	0.94	1.00	0.9	4.2	8.0	100	
	33	34	19	100	0.94	1.00	1.1	5.3	8.0	100	
	34	35	20	100	0.94	1.00	1.1	6.4	8.0	100	
	35	36	20	100	0.94	1.00	1.1	7.5	8.0	100	
	36	37	0	100	0.94	1.00	0.0	31.3	69.3	225	
	37	39	0	100	0.94	1.00	0.0	31.3	69.3	225	
	38	39	3	100	0.94	1.00	0.2	0.2	23.7	150	
	39	42	0	100	0.94	1.00	0.0	31.5	69.3	225	
	40	41	26	19	0.61	1.00	0.9	0.9	23.7	150	
	41	42	19	21	0.62	1.00	0.7	1.6	23.7	150	
	42	45	0	100	0.94	1.00	0.0	33.1	69.3	225	
	43	44	36	67	0.81	1.00	1.7	1.7	23.7	150	
	44	45	14	79	0.86	1.00	0.7	2.4	23.7	150	
	45	48	246	87	0.89	1.00	13.0	48.5	69.3	225	
	46	47	3	100	0.94	1.00	0.2	0.2	23.7	150	
	47	48	0	100	0.94	1.00	0.0	0.2	23.7	150	
	48	50	0	100	0.94	1.00	0.0	48.7	69.3	225	
	49	50	108	68	0.81	1.00	5.2	5.2	8.0	100	
	50	1000	0	100	0.94	1.00	0.0	53.9	69.3	225	
	51	20	4	100	0.94	1.00	0.2	7.0	8.0	100	

1. COLEBROOK-WHITE ROUGHNESS  $k = 0.015$ mm FOR POLYVINYL CHLORIDE PIPE (PVC).
2. A MINIMUM PIPE SLOPE OF 1.00% IS ASSUMED FOR CALCULATION PURPOSES.
3. SURFACE LEVELS BASED ON ARCHITECTURAL & SURVEY DRAWINGS.
4. CONFIRM PRACTICALITY OF PIPE INSTALLATION & ADVISE OF ANY DISCREPANCY PRIOR TO CONSTRUCTION.
5. SUSPENDED STORMWATER DRAINAGE TO BE SEWER GRADE UPVC WITH SOLVENT WELDED JOINTS SUPPORTED AS PER AS3500.3 CLAUSE 4.9.6.2.
6. STORMWATER DRAINAGE TO BE SEWER GRADE UPVC WITH SOLVENT WELDED JOINTS LAID ON GRANULAR BEDDING TO AS3500.3 CLAUSE 6.3.1.2.
7. SUBSOIL DRAINAGE (WHERE REQUIRED) TO BE SLOTTED UPVC WITH FILTER SOCK LAID IN FREE-DRAINING GRANULAR MATERIAL TO AS3500 CLAUSE 6.3.1.2.
8. CONFIRM ALL SUBSOIL DRAINAGE REQUIREMENTS PRIOR TO CONSTRUCTION & COORDINATE WITH FOOTING LEVELS WHERE APPLICABLE.
9. ALL DRAINAGE TO BE MIN 0100 UNLESS NOTED OTHERWISE. ENSURE PIPE BENDS GENERALLY DO NOT EXCEED 45 DEGREES IN PLAN.
10. THE ENTIRE DRAINAGE INSTALLATION SHALL COMPLY WITH THE RELEVANT PROVISIONS OF AS3500.3.
11. WATERTIGHT INSPECTION OPENINGS OR FITS TO BE PROVIDED FOR CLEANING PURPOSES AT MAXIMUM 30m INTERVALS & IN ACCORDANCE WITH AS3500.3 CLAUSE 7.4.1.
12. ALL STORMWATER OUTLETS TO BE 910mm FALD GRATE EQUAL TO SPECIALTY PLUMBING SUPPLIES TRULFO SERIES (TEL 02 9417 1900) UNLESS NOTED OTHERWISE.
13. DRAINAGE TO PROVIDE AS-BUILT DRAWINGS OF ALL RELEVANT DRAINAGE WORKS REQUIRED FOR CERTIFICATION PURPOSES. IN SOME CASES COUNCIL MAY REQUIRE APPROVED PLANS TO BE MARKED WITH RED INK TO INDICATE CHANGES TO THE ORIGINAL DESIGN LAYOUT.
14. FINAL DRAINAGE LAYOUT SHALL BE MARKED ON AS-BUILT DRAWINGS AS REQUIRED FOR CERTIFICATION & REFERENCE PURPOSES.
15. WHERE APPLICABLE, BUILDER TO PAY ALL ROAD OPENING & COUNCIL FEES ASSOCIATED WITH REQUIRED CONSTRUCTION.
16. SITE INSPECTIONS SHOULD BE ARRANGED IN ACCORDANCE WITH CONSENT CONDITIONS & CERTIFIER'S REQUIREMENTS, WITH REASONABLE ADVANCE NOTICE BEING GIVEN & WRITTEN CONFIRMATION FROM THE RELEVANT PARTY THAT THE CURRENT HOURLY RATE FEE WILL BE PAID.
17. AS-BUILT DRAWING/SURVEY OF COMPLETED WORKS SHOULD BE MADE AVAILABLE TO VIEW PRIOR TO ARRANGING FOR FINAL SITE INSPECTION.
18. ALL DOWNPIPES DRAINING TO THE STORAGE SYSTEM SHALL BE MADE WATERTIGHT BELOW THE MAXIMUM WATER STORAGE LEVEL.
19. ALL REQUIRED EASEMENTS, POSITIVE COVENANTS OR OTHER LEGAL INSTRUMENTS TO BE ARRANGED & REGISTERED BY SURVEYOR OR OTHER APPROVED AGENT.

## STORMWATER PIT SCHEDULE

Label	No.	Pit Size	Surface RL	Outlet Lit	Pit Depth	Lid Type	Load Class
SWP	1	900x900	38.15	37.00	1150	Cover	C
SWP	2	450x450	38.55	37.95	600	Grate	C
SWP	3	450x450	39.20	38.60	600	Grate	A
SWP	4	450x450	39.20	38.70	500	Grate	A
SWP	5	450x450	39.70	39.20	500	Grate	A
SWP	6	450x450	39.70	39.20	500	Grate	A
SWP	7	450x450	39.80	39.30	500	Grate	A
SWP	8	450x450	40.20	39.60	600	Grate	A
GTD	1	300 WIDE	38.15	VERTICAL	MIN 200	Grate	C

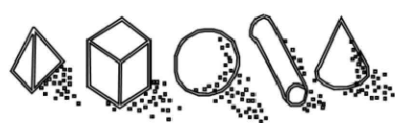
1. PITS TO BE REINFORCED CONCRETE IN ACCORDANCE WITH A333900.3
2. GRATES REQUIRED TO BE HINGED GALVANIZED MILD STEEL EQUAL TO DR BURHAM & SONS (ADOPT HEEPLROF STYLE WHERE APPLICABLE)
3. COORDINATE REBAR & CHANNEL DIMENSIONS WITH SLAB CONSTRUCTION TO SUIT TRENCH DRAIN DIMENSIONS AS NECESSARY (WITH STRUCTURAL ENGINEER'S APPROVAL/SUPERVISION)
4. FALL BASE OF TRENCH DRAINS TO OUTLET AT MIN 1%.
5. LINE UP WITH BUILDING TO EXISTING CONCRETE WORKS ASSOCIATED WITH PIT/TRENCH LOCATIONS ARE ACCURATELY COORDINATED AS REQUIRED.
6. GENERALLY GRADE SURROUNDING SURFACES TO DIRECT STORMWATER INTO GRATES.
7. MINIMUM LOAD CLASS RATINGS ARE PROVIDED. IF A SPECIFIC LOAD CLASS IS NOT COMMERCIALY AVAILABLE, ADAPT THE NEXT HIGHER LOAD CLASS.
8. PROVIDE STEP RUNGS WHERE PIT DEPTH EXCEEDS 1.2m.

THIS DRAWING HAS BEEN PREPARED IN CONJUNCTION WITH THE FOLLOWING DRAWINGS:			
Discipline	Dwg. No.	Date	Revisions
ARCH PLAN	-	-	-
ARCH ELEV			
STRUCTURAL			
MECHANICAL			
ELECTRICAL			
CIVIL			
LANDSCAPE			

THE DESIGN AND DETAILS SHOWN ON THESE DRAWINGS ARE APPLICABLE TO THIS PROJECT ONLY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART OR BE USED FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE WRITTEN PERMISSION OF ERBAS & ASSOCIATES WITH WHOM COPYRIGHT RESIDES. ALL DIMENSIONS IN MILLIMETRES UNLESS OTHERWISE SHOWN. WORK TO FIGURED DIMENSIONS, DO NOT SCALE FROM DRAWINGS. CHECK ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS.

[illegible]

ARCHITECT



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Architects. Nominated Architect: Barry John Rush  
ARB Registration No 3753  
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[www.barryrush.com.au](http://www.barryrush.com.au)

CLIENT



LOCKED BAG 5022  
PARRAMATTA NSW 2124  
PHONE No 1800 738 718  
<https://www.dpie.nsw.gov.au/land-and-housing-corporation>

BUILDING SERVICES ENGINEER



DESIGNED
IY
CHECKED
MS
NORTH POINT

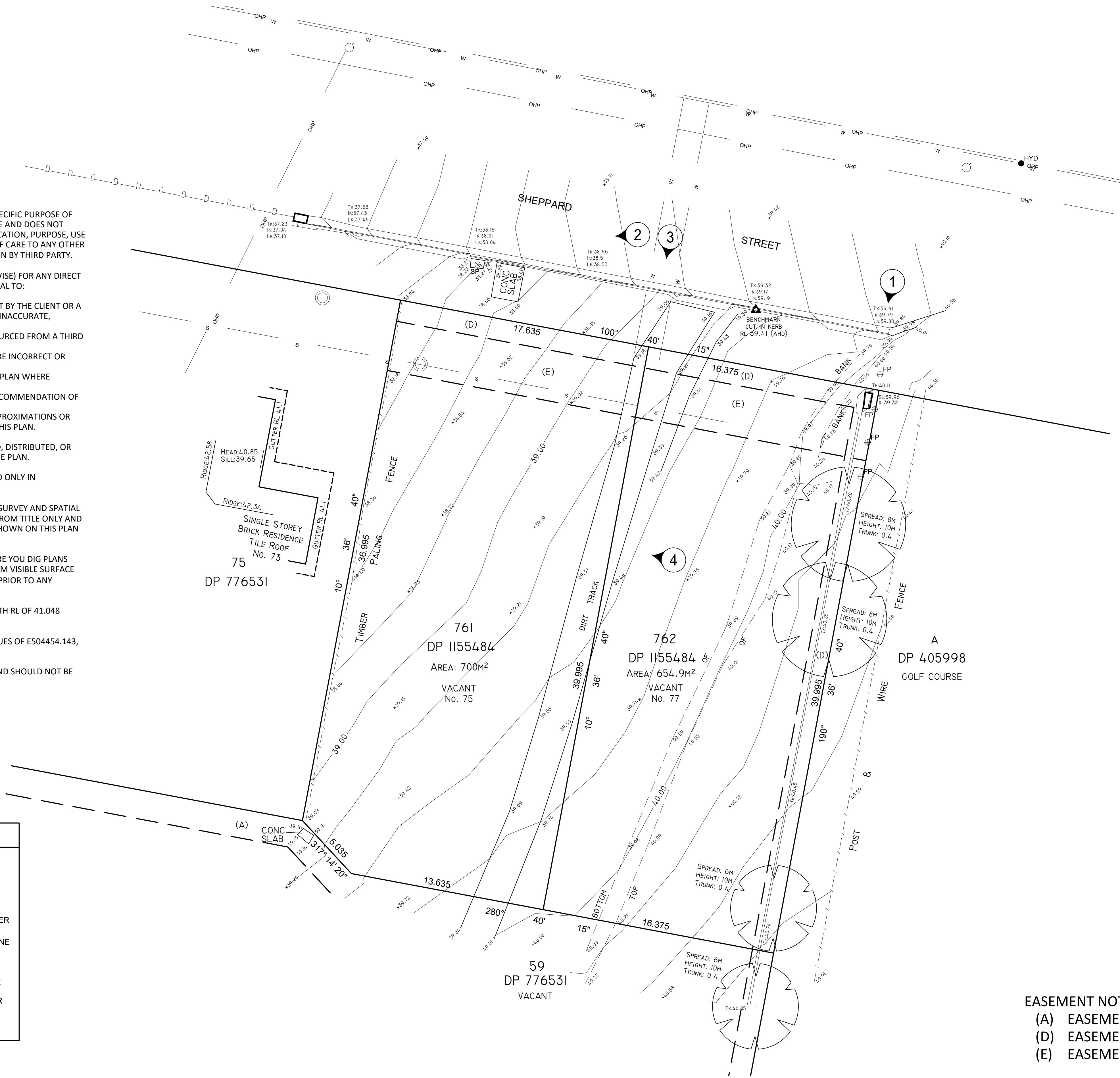
PROJECT  
MULTI-DWELLING  
HOUSING DEVELOPMENT  
75-77 SHEPPARD STREET,  
CASINO NSW  
(RICHMOND VALLEY COUNCIL)

DRAWING TITLE  
STORMWATER SERVICES  
DETAIL SHEET 2

SCALE of A1	PROJECT No.	DRAWING No.	ISSUE
-			
DATE	SYD23062-SW202		P2
FEB 2023			
DRAWN BY			



- THIS PLAN WAS PREPARED FOR THE SOLE PURPOSES OF THE CLIENT FOR THE SPECIFIC PURPOSE OF PRODUCING A CONTROL PLAN. THIS PLAN IS STRICTLY LIMITED TO THE PURPOSE AND DOES NOT APPLY DIRECTLY OR INDIRECTLY AND WILL NOT BE USED FOR ANY OTHER APPLICATION, PURPOSE, USE OR MATTER. THE PLAN IS PRESENTED WITHOUT THE ASSUMPTION OF A DUTY OF CARE TO ANY OTHER PERSON (OTHER THAN THE CLIENT) ("THIRD PARTY") AND MAY NOT BE RELIED ON BY THIRD PARTY.
2. RPS AUSTRALIA EAST PTY LTD WILL NOT BE LIABLE (IN NEGLIGENCE OR OTHERWISE) FOR ANY DIRECT OR INDIRECT LOSS, DAMAGE, LIABILITY OR CLAIM ARISING OUT OF OR INCIDENTAL TO:
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  - C. ANY INACCURACIES OR OTHER FAULTS WITH INFORMATION OR DATA SOURCED FROM A THIRD PARTY;
  - D. RPS AUSTRALIA EAST PTY LTD RELYING ON SURFACE INDICATORS THAT ARE INCORRECT OR INACCURATE;
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  - F. LODGMENT OF THIS PLAN WITH ANY LOCAL AUTHORITY AGAINST THE RECOMMENDATION OF RPS AUSTRALIA EAST PTY LTD;
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4. ANY ELECTRONIC FILE IS PROVIDED WITHOUT WARRANTY AND SHOULD BE USED ONLY IN CONJUNCTION WITH THE SUPPLIED PDF/PAPER COPY OF THIS PLAN.
5. LIMITED BOUNDARY SURVEY HAS BEEN UNDERTAKEN UNDER CLAUSE 9 OF THE SURVEY AND SPATIAL INFORMATION REGULATIONS (2017). BEARINGS, DIMENSIONS AND AREA ARE FROM TITLE ONLY AND ARE SUBJECT TO CONFIRMATION BY FULL BOUNDARY SURVEY. BOUNDARIES SHOWN ON THIS PLAN SHOULD NOT BE RELIED UPON FOR WORK ON OR NEAR THE BOUNDARY
6. SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON DIAL BEFORE YOU DIG PLANS DATED 30th AUGUST 2022, PROVIDED BY THE RELEVANT AUTHORITIES AND FROM VISIBLE SURFACE LIDS/INDICATORS. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.
7. LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) USING PM 26577 WITH RL OF 41.048 LOCATED AT ---.
8. ORIGIN OF CO-ORDINATES PM 26577 WITH MGA (GDA2020) CO-ORDINATE VALUES OF E504454.143, N6809544.322
9. CONTOUR INTERVAL 0.25m. CONTOURS ARE AN INDICATION OF LANDFORM AND SHOULD NOT BE TAKEN IN PREFERENCE TO SPOT LEVELS SHOWN.



	SEWER MANHOLE		FENCE
	STORMWATER PIT		SEWER
	POWER POLE		WATER
	HYDRANT		OVERHEAD POWER
	FENCE POST		STORMWATER LINE
	SIGN POST (BUS STOP)		BOUNDARY
	PHOTOGRAPH		MINOR CONTOUR
	TREE		MAJOR CONTOUR

- |  |                      |  |                 |
|--|----------------------|--|-----------------|
|  | SEWER MANHOLE        |  | FENCE           |
|  | STORMWATER PIT       |  | SEWER           |
|  | POWER POLE           |  | WATER           |
|  | HYDRANT              |  | OVERHEAD POWER  |
|  | FENCE POST           |  | STORMWATER LINE |
|  | SIGN POST (BUS STOP) |  | BOUNDARY        |
|  | PHOTOGRAPH           |  | MINOR CONTOUR   |
|  | TREE                 |  | MAJOR CONTOUR   |

(A) EASEMENT TO DRAIN WATER 2 WIDE VIDE DP776531  
(D) EASEMENT TO DRAIN WATER 1.5 WIDE VIDE DP776531  
(E) EASEMENT FOR SEWER 5 WIDE

No.	DATE	NOTATION/AMENDMENT	No.	DATE	NOTATION/AMENDMENT
1	24-05-2022	Initial Detail Plan			
2	13-02-2023	Easement Note Updated			
<div>CONTOUR INTERVAL: 0.25m DATUM: AHD ORIGIN OF DATUM: PM ***  100 YEAR FLOOD RL:  RECOMMENDED MINIMUM FLOOR RL:  SOURCE OF FLOOD INFO:</div>					
<div>LEGEND OF COMMONLY USED SYMBOLS</div>					
<div>REDUCTION RATIO 1 : .....150 0 LAND TITLE INFORMATION LOTS: LOTS 761 AND 762 PLAN NOS : DP 1155484 OTHER: AREA: 700m² &amp; 654.9m²</div>					
<div>DATE OF SURVEY: 01 / 05 / 2022 SURVEY CONSULTANT:  RPS Australia East Pty Ltd  ..... SURVEYORS Registered Surveyor REF: 151687..</div>					
<div>NSW Land &amp; Housing Corporation Division of the Department of Family &amp; Community Services DRAWING TITLE Detail Survey</div>					
LOCATION CASINO					
STREET ADDRESS 75-77 Sheppard Street, Casino					
TYPE S					
SITE LAYOUT JOB					
SHT. 1 OF 1					



NOTIFICATION PLANS

GENERAL HOUSING

75-77 SHEPPARD STREET,  
CASINO



STREET PERSPECTIVE: 75 - 77 SHEPPARD STREET, CASINO



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SCALE FOR PRINTING  
PURPOSE ONLY

LEGEND



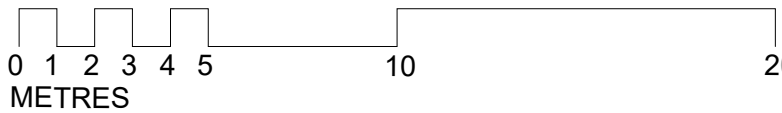
1 STOREY 2 BED VILLA

2 STOREY 2 BED TOWNHOUSE

2 STOREY 3 BED TOWNHOUSE

SITE PLAN

SCALE



Plant Schedule							
ID	Qty	Common Name	Botanical Name	Size	Mature Height	Mature Spread	Native (N)
Trees							
AcmSmi	1	Lillypilly	Acmena smithii	75Litre	3 - 5m	1 - 3m	N
ElaRet	4	Blueberry Ash	Elaeocarpus reticulatus	75Litre	8 - 10m	3 - 4m	N
TriLus	4	Water Gum	Tristanopsis laurina 'Luscious'	75Litre	6 - 8m	3.5 - 6m	N
Shrubs							
AccaGree	31	Green Mist	Acacia cognata 'Green Mist'	200mm	1.0 - 1.5m	0.8 - 1.0m	N
Acm Ally	19	Allyn Magic	Acmena smithii 'Allyn Magic'	200mm	0.5 - 1m	0.8 - 1m	N
AcmChe	47	Forest Flame	Acmena 'Cherry Surprise'	200mm	3.0 - 5.0m	1.2 - 1.5m	N
AcmRed	22	Red Head Lilly Pilly	Acmena smithii 'Red Head'	200mm	5 - 6m	3.0 - 4.0m	N
AcmFor	22	Forest Flame Lilly Pilly	Acmena 'Forest Flame'	200mm	1.5 - 2.0m	1.0 - 1.5m	N
AlpCae	6	Native Ginger	Alpinia caerulea	200mm	0.9 - 1.5m	0.9 - 1.2m	N
BanSpi	18	Hairpin Banksia	Banksia spinulosa	200mm	2.0 - 3.0m	1.5 - 2.0m	N
CalAnz	23	White Bottle Brush	Callistemon citrinus 'White Anzac'	200mm	0.9 - 1.1m	2.0 - 3.0m	N
CalEnd	10	Scarlet Bottlebrush	Callistemon citrinus 'Endavour'	200mm	3 - 5m	2.0 - 3.5m	N
CorStri	9	Narrow Palm Lily	Cordylina stricta congesta	200mm	1 - 2m	0.8 - 1.0m	N
CosEve	9	Evening Glow Mirror Plant	Coprosma 'Evening Glow'	200mm	1.2 - 1.5m	0.9 - 1.2m	N
CriPed	49	Swamp Lily	Crinum pedunculatum	200mm	1.5 - 2m	1.2 - 2.0m	N
DorExc	10	Gymea Lily	Doryanthes excelsa	200mm	1.5 - 2m	1.2 - 2.0m	N
GreHon	31	Honey Gem Grevillea	Grevillea 'Honey Gem'	200mm	3.0 - 4.0m	2.0 - 3.0m	N
LepGree	43	Green Screen Leptospermum	Leptospermum 'Green Screen'	200mm	1.2 - 1.5m	1.2 - 1.5m	N
MelCla	22	Claret Tops Honey Myrtle	Melaleuca 'Claret Tops'	200mm	0.9 - 1.1m	0.6 - 1.0m	N
SyzRes	19	Resilience Lilly Pilly	Syzygium 'Resilience'	200mm	2 - 3m	1.2 - 2.0m	N
WesFru	30	Jervis Gem	Westringia fruticosa 'Jervis Gem'	200mm	0.8 - 1.2m	0.8 - 1.2m	N
Ground Covers							
DiaTas	61	Flax Lily	Dianella tasmanica 'Tasred'	150mm	0.4 - 0.5m	0.4 - 0.5m	N
DicEme	28	Emerald Falls Dichondra	Dichondra 'Emerald Falls'	150mm	0.0 - 0.3m	0.9 - 1.2m	N
LomTan	101	Spiny-headed mat rush	Lomandra longifolia 'Tanika'	150mm	0.45 - 0.6m	0.6 - 0.9m	N
CasCou	18	Cousin It	Casuarina 'Cousin It'	150mm	0.10 - 0.15m	0.8 - 1.0m	N
DiaJess	99	Little Jess Native Flax	Dianella caerulea 'Little Jess'	140mm	0.3 - 0.4m	0.3 - 0.4m	N
CarGla	8	Pigface	Carphobrotus glaucescens	150mm	0.2 - 0.3m	1.5 - 2.0m	N
MyoYar	13	Carpet Spreading Myoporum	Myoporum parvifolium 'Yareena'	150mm	0.05 - 0.1m	0.8 - 1.0m	N
DiaLit	26	Spreading Flax Lily	Dianella revoluta 'Little Rev'	150mm	0.3 - 0.45m	0.3 - 0.6m	N
BraMul	128	Break O Day	Brachyscome multifida	150mm	0.2 - 0.3m	0.4 - 0.5m	N
BanBir	91	Birthday Candle	Banksia spinulosa 'Birthday Candle'	150mm	0.45 - 0.6m	0.9 - 1.2m	N

ARCHITECT:



Barry Rush & Associates Pty Ltd

NOTIFICATION - SITE / LANDSCAPE PLAN

75-77 Sheppard Street, CASINO  
LOTS 761 & 762 in DP 1155484

REV:

-

DATE:

13/06/23

PROJECT NO:

BGZEG

SHEET:

N02

DETERMINED by the NSW Land and Housing Corporation on:

SHEPPARD STREET

25 November  
2023

Handwritten signature and date.

BUS STOP & SIGN TO BE RELOCATED  
TO BETWEEN HOUSES 71 & 73. SIZE,  
CONSTRUCTION AND FINAL  
LOCATION TO BE ADVISED BY  
COUNCIL

Single Storey  
rick Residence  
Tile Roof  
No. 73

a  
DP 405998  
GOLF COURSE

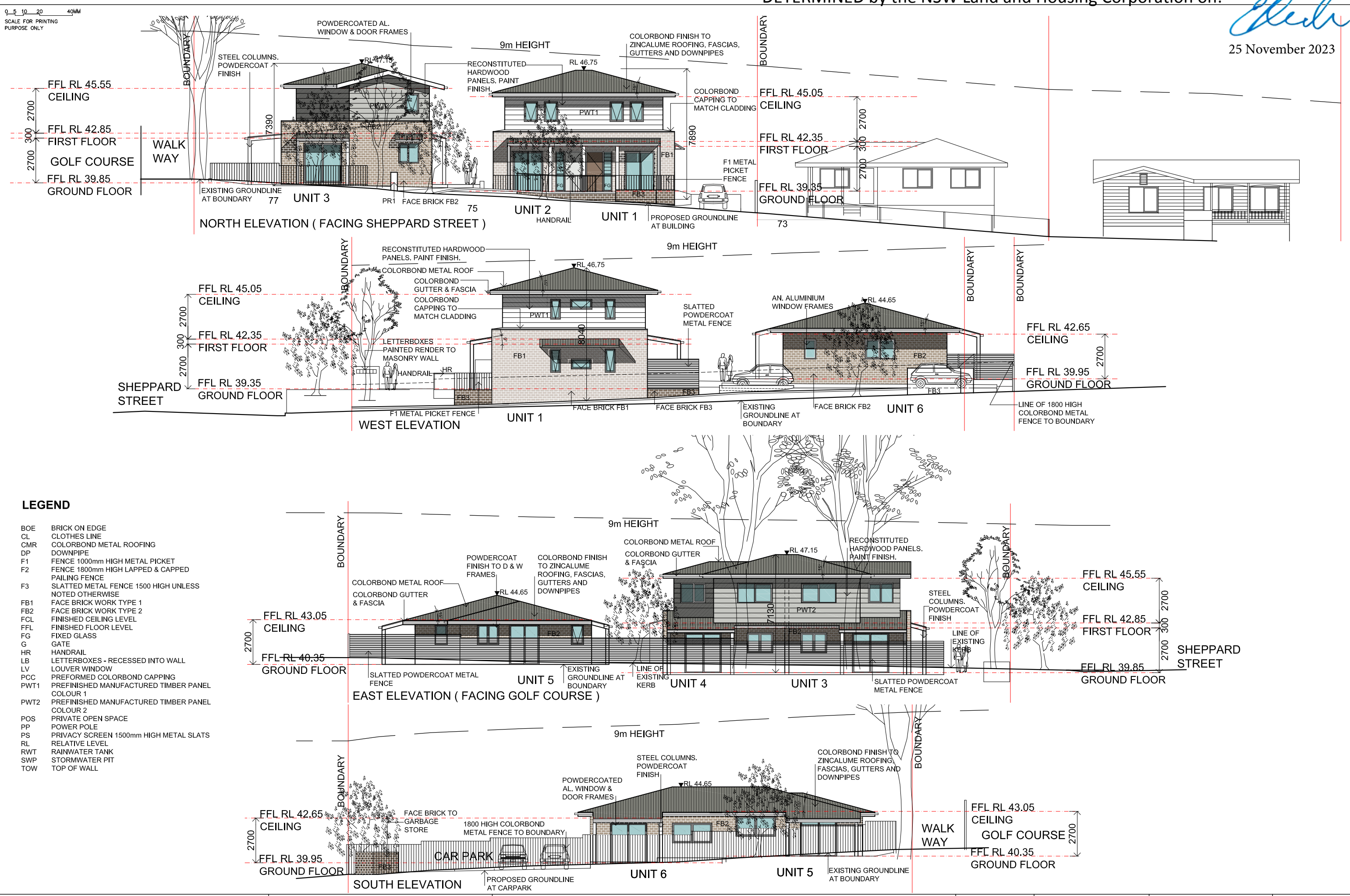


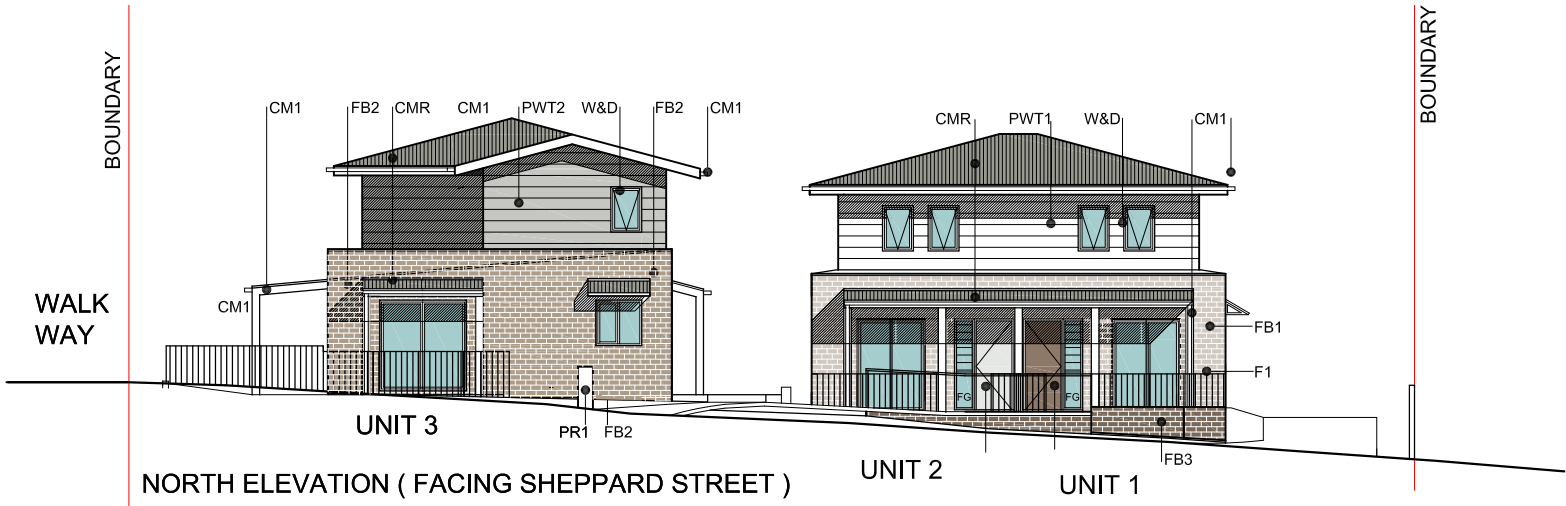
DEVELOPMENT DATA

Job Reference	BGZEG
Locality / Suburb	Casino
Street Address	75-77 Sheppard Sreet
Lot & DP	Lots 2761 and 762 in DP 1155484
Site Area	1354.9 m <sup>2</sup> by title
Existing Lots	2
Proposed GFA	505.6 m <sup>2</sup>
No. of Dwellings	4 x 2 Bed + 2 x 3 Bed = 6 Dwellings

	Control	Requirement	Proposed
HEIGHT	Richmond Valley Council LEP Housing SEPP LRHDG Rear 40% of Site	8.5m 9.0m 4.5m	6.3m to ceiling 7.8m to top of roof rear 40% of site < 4.5m
FSR	Richmond Valley Coast DCP Housing SEPP	0.5:1 (631.5m <sup>2</sup> ) 0.5:1	0.37:1 (505.6m <sup>2</sup> ) 0.37:1 (505.6m <sup>2</sup> )
LOT SIZE & WIDTH	Richmond Valley Coast DCP	Site 1000 m <sup>2</sup> Width 20m	Site 1354.9m <sup>2</sup> Width 34m
SETBACKS	Richmond Valley Coast DCP multi - dwelling LRHDG LRHDG	Front Setback 6.0m Side Setback = H - 3m Rear Setback = 6m	6.0-8.5m to Building 3.0-5.2m to Building East (front) - 5.2m to building 3.2m to awning East (rear) - 3m West - 5m 4m to Building 2m to awning
PARKING	Housing SEPP	1 x(no. 2 Beds) = 4 1.5 x (no. 3 Beds) = 3	7 car spaces
BICYCLE PARKING	LRHDG	1 space per Dwelling = 6	Bicycles to be stored in unit POS
POS Private open space	LAHC Dwelling Requirements Richmond Valley Coast DCP multi - dwelling	1 bed Dwelling = 8m <sup>2</sup> 2 bed Dwelling = 10m <sup>2</sup> 3 bed Dwelling = 12m <sup>2</sup> 1+2 bed Dwelling = 16m <sup>2</sup> 3 bed Dwelling = 25m <sup>2</sup>	All POS > 25m <sup>2</sup> All POS > 25m <sup>2</sup>
SOLAR ACCESS	Housing SEPP	70% for 3hrs in Mid-Winter = 4.2	5 = 83%







FINISHES SCHEDULE

CODE	LOCATION		DESCRIPTION	COLOUR
CMR	ROOFING/		CORRUGATED COLORBOND METAL ROOFING	BASALT
CM1	FASCIA, GUTTER, AWNING, COLUMNS & BEAMS		METAL COLORBOND & GALV STEEL	WINDSPRAY
FB1	WALLS UNITS 1 & 2		FACE BRICK light warm	PGH BRICK VELOUR "CRUSHED GREY"
FB2	WALLS UNITS 3, 4, 5 & 6		FACE BRICK light off white	PGH BRICK VELOUR "MINERAL"
FB3	SITE WALLS & BIN STORAGE		FACE BRICK medium warm	PGH BRICK OPALINE "TOURMALINE"
PR1	LETTERBOX WALL		PAINTED RENDER	DULUX LEXICON HALF
FC1	EAVES LINING & SOFFIT		PAINTED FIBER CEMENT SHEETING	DULUX LEXICON HALF

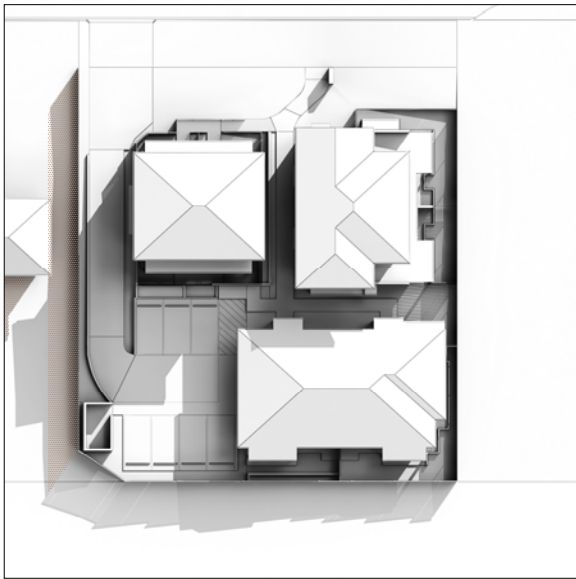
CODE	LOCATION		DESCRIPTION	COLOUR
PWT1	FIRST FLOOR WALLS UNITS 1&2		RECONSTITUTED HARDWOOD PLANKS -PRE SEALED. PAINT FINISH	WATTYL "WINTER SKY"
PWT2	FIRST FLOOR WALLS UNITS 3&4		RECONSTITUTED HARDWOOD PLANKS -PRE SEALED. PAINT FINISH	WATTYL "SEQUOIA DUSK"
W & D	WINDOWS & GLASS DOORS FRAMING		POWEDERCOATED ALUMNIUM	WHITE
PS	PRIVACY SCREEN		ALUMINIUM HORIZONTAL SLATTED BARS	SURFMIST
F1	METAL FENCES TO FRONT POS		POWDERCOATED METAL	DULUX WINDSPRAY
F2	FENCE		1800 HIGH COLORBOND METAL FENCE	DULUX WINDSPRAY
F3	SLATTED METAL FENCES TO REAR POS		1500 HIGH (UNLESS NOTED OTHERWISE) SLATTED POWDERCOATED METAL FENCE	DULUX WINDSPRAY
D1	FRONT DOOR UNITS 1, 3, 5		PAINT FINISH TO ENTRY DOOR	DULUX "TERRAIN"
D2	FRONT DOOR UNITS 2, 4, 6		PAINT FINISH TO ENTRY DOOR	DULUX "LEXICON HALF"



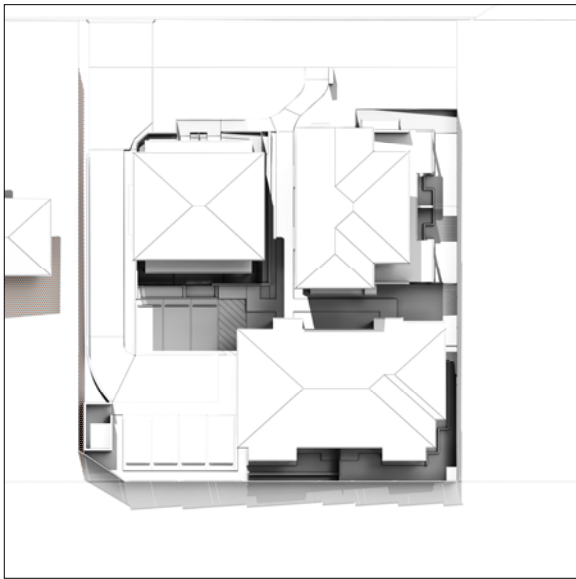
*[Signature]*

25 November 2023

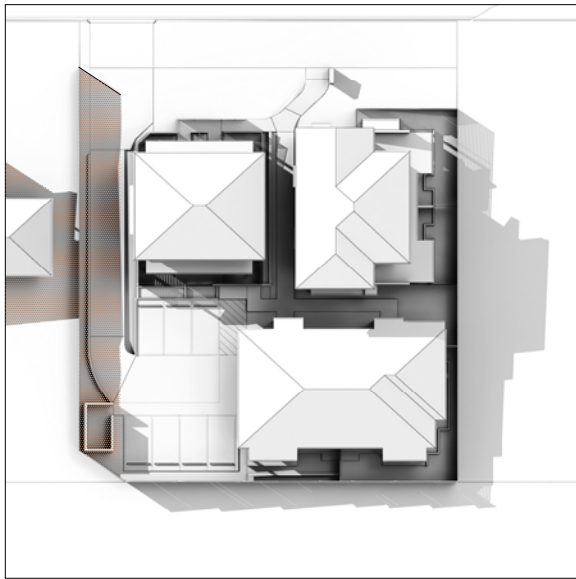
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PURPOSE ONLY



9AM 21ST JUNE



12NOON 21ST JUNE



3PM 21ST JUNE



NORTH

LEGEND:

- SHADOWS CAST BY NEIGHBOURING DWELLING AND EXISTING FENCE
- SHADOWS CAST BY PROPOSED DEVELOPMENT



LOCKED BAG 5022  
PARRAMATTA NSW 2124  
PHONE No 1800 738 718  
<https://www.dpie.nsw.gov.au/land-and-housing-corporation>

ARCHITECT:



Barry Rush & Associates Pty Ltd

NOTIFICATION - SHADOW DIAGRAMS  
75-77 Sheppard Street, CASINO  
LOTS 761 & 762 in DP 1155484

REV:

-

DATE:

13/06/23

PROJECT NO:

BGZEG

SHEET:

N06